

LOT 4 - LOOART SUBDIVISION FIL. NO. 8

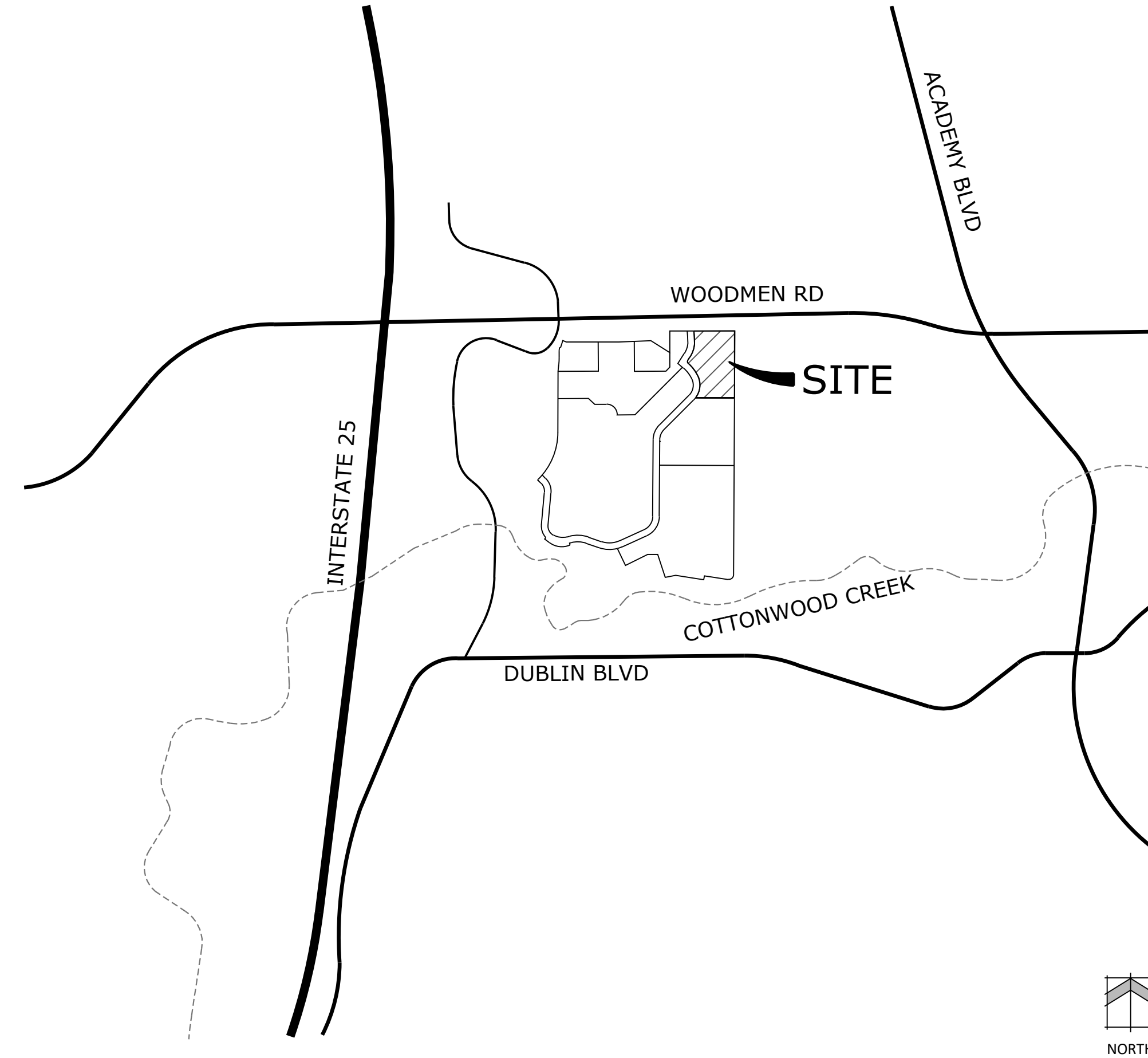
CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

LEGAL DESCRIPTION

LOT 4 LOOART SUBDIVISION FILING NO. 8
CONTAINING A CALCULATED AREA OF 3.555 ACRES, MORE OR LESS.

VICINITY MAP



GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982, 2880 INTERNATIONAL CIRCLE FOR SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
- ALL LOTS AND TRACTS WITHIN THIS SUBDIVISION ARE SUBJECT TO AN AVIGATION EASEMENT TO THE UNITED STATES AIR FORCE ACADEMY AS RECORDED UNDER RECEPTION NO. 218032701 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL THOMPSON, DATED FEBRUARY 6, 2020, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARDS ON THE PROPERTY: (ARTIFICIAL AND UNDOCUMENTED FILL, STEEP SLOPES). A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE CPC PUP 20-00045-A1M121 OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. IT IS ALSO SUBJECT TO A GEOLOGIC HAZARD VALIDATION LETTER PREPARED BY CTL THOMPSON, DATED AUGUST 17, 2021. A COPY OF SAID REPORT AND LETTER HAVE BEEN PLACED WITHIN FILES HCPC PUP 20-00045 AND HAR PUD 21-00627, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 701, COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW SAID REPORT.
- THIS PROPERTY IS IMPACTED BY THE TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AVIGATION EASEMENT RECORDED MARCH 23, 2018, UNDER RECEPTION NO. 218032701.
- A MAJOR DEVELOPMENT PLAN AMENDMENT WILL BE REQUIRED FOR FUTURE SITE IMPROVEMENTS FOR PHASE 2.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL THOMPSON DATED FEBRUARY 6, 2020, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THIS PROPERTY: ARTIFICIAL AND UNDOCUMENTED FILL, STEEP SLOPES. IT IS ALSO SUBJECT TO A GEOLOGIC HAZARD VALIDATION LETTER PREPARED BY CTL THOMPSON, DATED AUGUST 17, 2021. A COPY OF SAID REPORT AND LETTER HAVE BEEN PLACED WITHIN FILES HCPC PUP 20-00045 AND HAR PUD 21-00627, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 701, COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW SAID REPORT AND LETTER.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 0804100516G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- ALL SITE GENERATED STORMWATER FLOWS WILL BE DIRECTED TO THE PRIVATE FULL SPECTRUM DETENTION POND A LOCATED IN TRACT C OF THE LOOART SUBDIVISION FILING NO. 6A.
- THIS SUBDIVISION IS SUBJECT TO OPERATION AND EASEMENT DECLARATION AS RECORDED UNDER RECEPTION NUMBER 219096095.
- THIS SUBDIVISION IS SUBJECT TO THE CREST AT WOODMEN FENCE MAINTENANCE AGREEMENT BETWEEN CREST AT WOODMEN, LLC AND THE CITY OF COLORADO SPRINGS AS RECORDED UNDER RECEPTION NUMBER 218027491 AND AMENDED UNDER RECEPTION NUMBER 219094612.

SITE DATA

Tax ID Number:	6308303021
Site Address:	6963 Crest Hill View
Total Area:	3.555 ACRES
Development Schedule:	SPRING 2022
Concept Plan:	CREST AT WOODMEN CPC PUP 20-00045-A1M121 COTTONWOOD CREEK
Drainage Basin:	PUD/SS (Planned Unit Development with Streamside Overlay)
Existing Zoning:	(CITY FILE # CPC PUZ 20-00044; ORDINANCE # 20-52)
Current Use:	VACANT
Proposed Use:	COMMERCIAL (RETAIL AND RESTAURANT)
Proposed Commercial Area:	12,700 SF
Maximum Building Height:	45'
Proposed Building Height:	20'
Building Setbacks:	Front: 0' (Crest Hill View) Side: 0' (South Parcel Boundaries) Rear: 50' (Woodmen Rd) 100' (From Adjacent Residential Parcels) 70' (From City Parcel)

The project site is part of the larger Crest at Woodmen development, which was established as a unified commercial development. As such, there are no building setbacks from internal property boundaries and building setbacks are measured from the periphery of the development as depicted on the PUD Concept Plan.

Landscape Setbacks/Buffers:	Woodmen Road Setback: 25' Eastern Zone Buffer: 15'
Parking:	Formula: 1 SPACE PER 100 SF - FAST FOOD (City Code Section 7.4.203) 1 SPACE PER 300 SF - RETAIL (City Code Section 7.4.203) - Fast Food: 6,200 SF (65 SPACES REQUIRED) - Retail: 86 SPACES Required: 86 SPACES ADA Formula: 4 ADA SPACES PER 76-100 SPACES (7.4.205) Required: 4 SPACES Provided: 4 SPACES

PROJECT TEAM

OWNER:	Crest at Woodmen llc 900 Town and Country Lane # 210 Houston, TX 77024-2229
CIVIL ENGINEER:	K'lwa Engineering 1604 S 21st St Colorado Springs, CO 80904
ARCHITECT:	YOW Architects, PC 115 S Weber St., Suite 200 Colorado Springs, CO 80903
APPLICANT:	N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903

Signage is not approved with this plan.
A separate sign permit is required.
Contact Development Review at
2880 International Circle Ste 200
for sign plan applications.



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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LOT 4 LOOART SUBDIVISION FIL. NO. 8

PUD DEVELOPMENT PLAN

6963 CREST HILL VIEW

DATE: 1/5/2022
PROJECT MGR: C. LIEBER
PREPARED BY: B. SWENSON

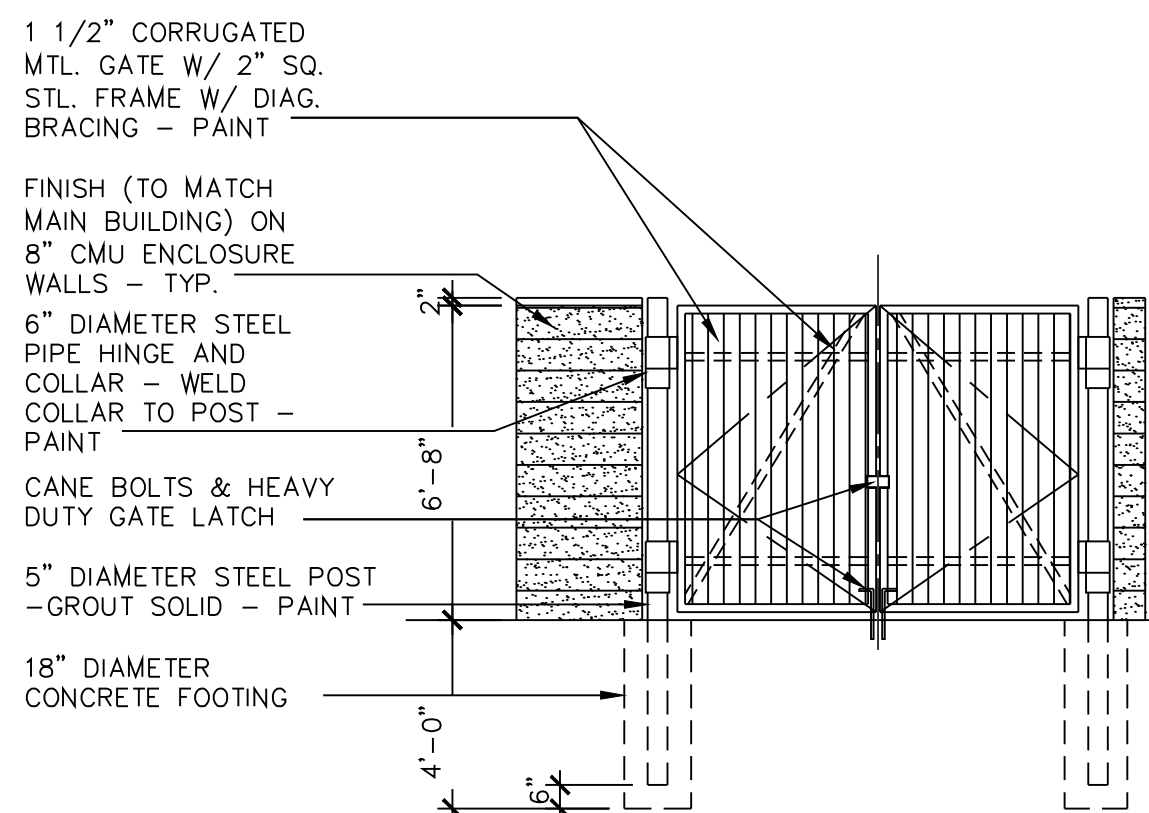
SHEET INDEX

Sheet 1 of 8:	Cover Sheet
Sheet 2 of 8:	Development Plan
Sheet 3 of 8:	Preliminary Grading
Sheet 4 of 8:	Preliminary Utilities
Sheet 5 of 8:	Final Landscape Details & Notes
Sheet 6 of 8:	Final Landscape Plan
Sheet 7 of 8:	Building Elevations
Sheet 8 of 8:	Photometric Plan

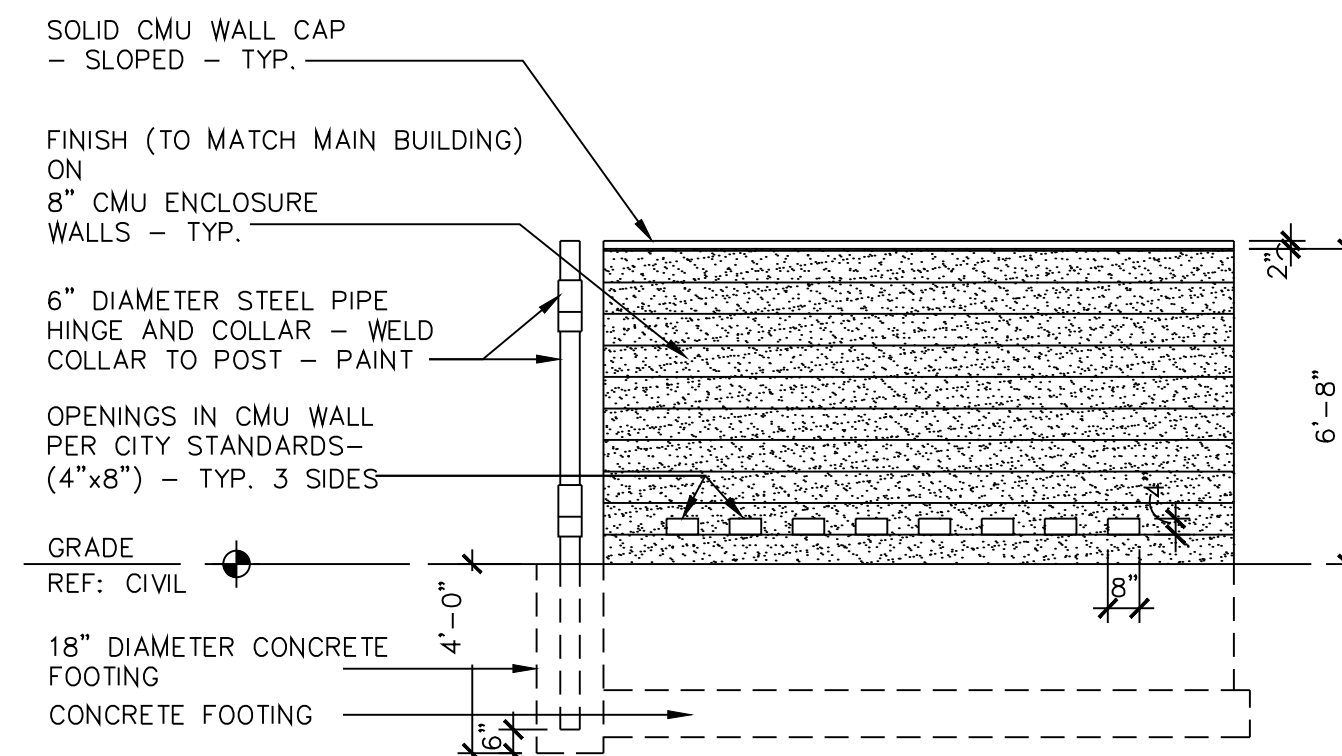


Land Use Review
Approved

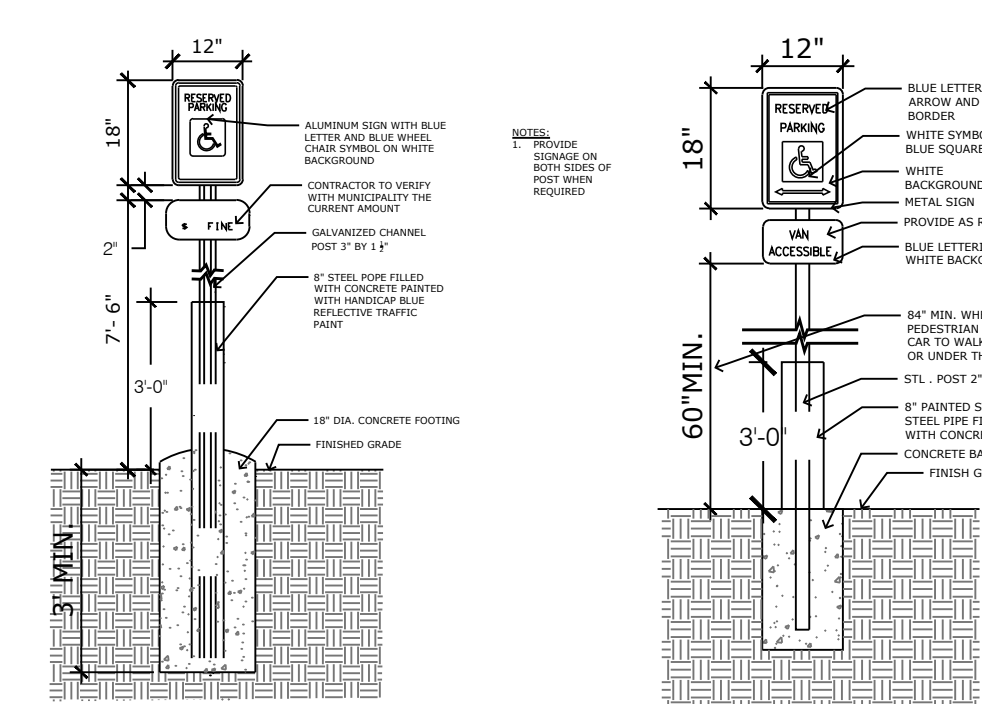
03/01/2022
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Tamara Baxter



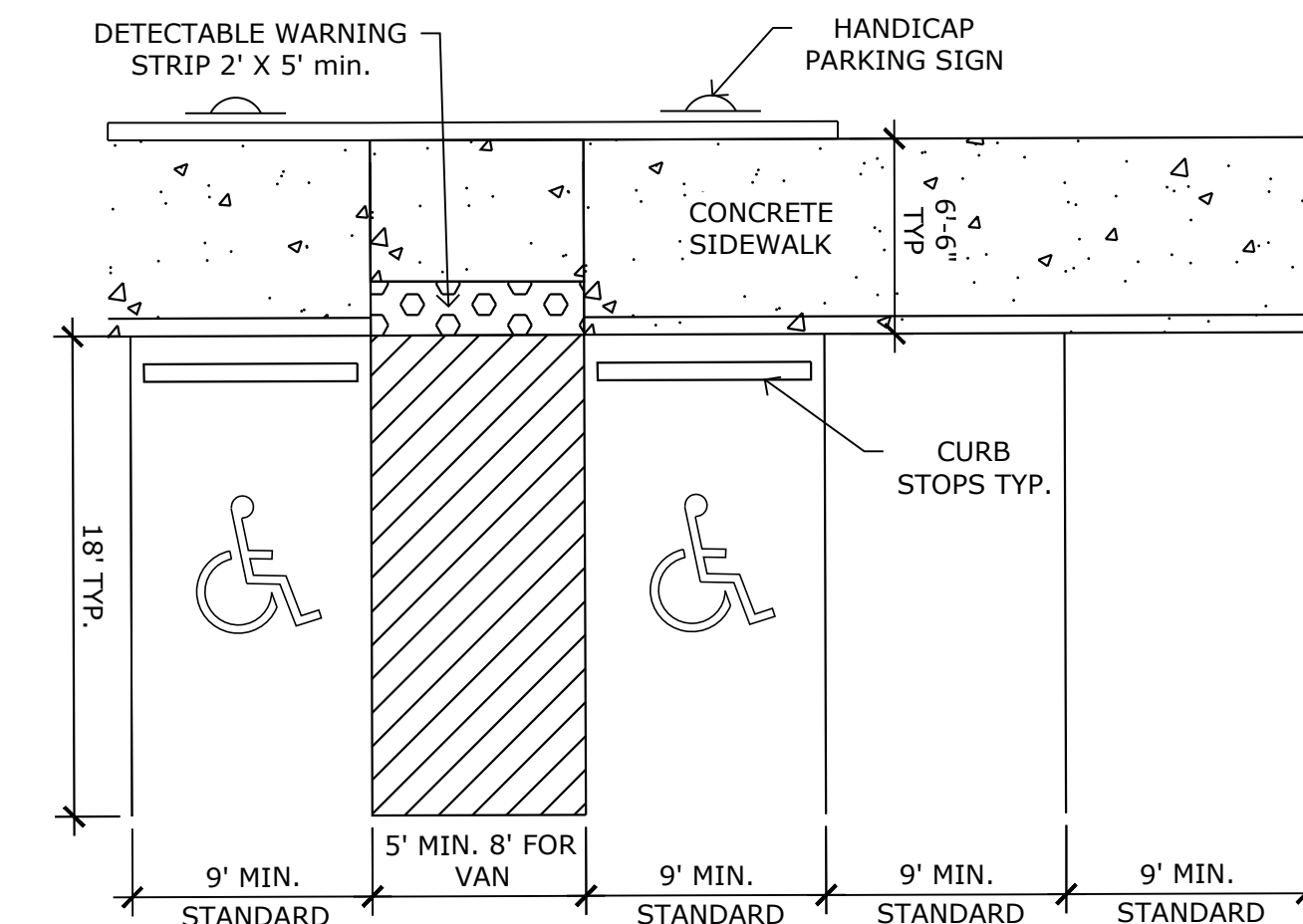
TRASH ENCLOSURE
FRONT ELEVATION



TRASH ENCLOSURE
SIDE ELEVATION



ADA / VAN ACCESSIBLE PARKING SIGNS



ADA & STANDARD PARKING STALL LAYOUT

DATE:	BY:	DESCRIPTION:
1/14/2022	JBS	PER CITY COMMENTS
2/14/2022	JBS	PER CITY COMMENTS

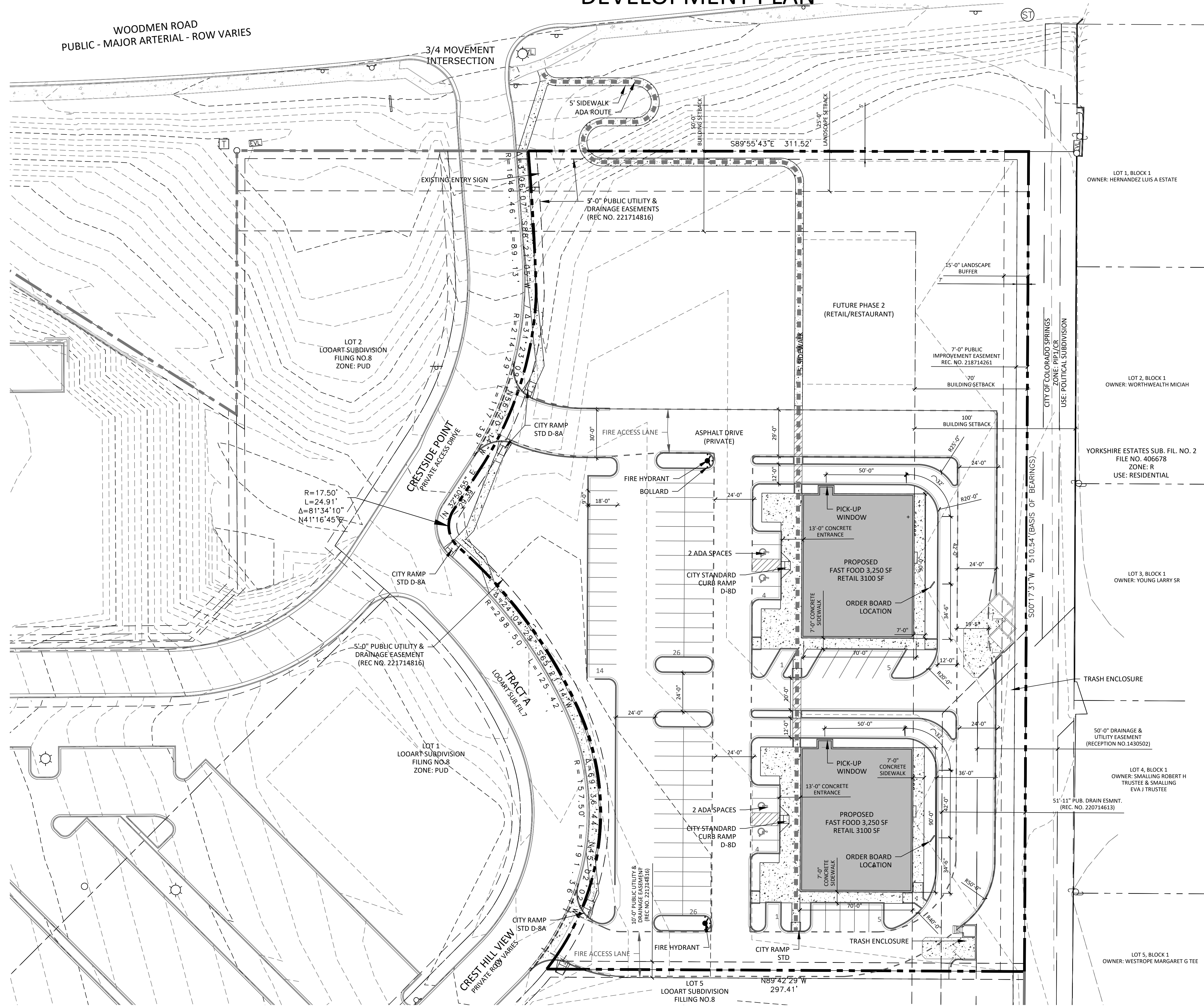
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LOT 4 - LOOART SUBDIVISION FIL. NO. 8

CITY OF COLORADO SPRINGS, COLORADO DEVELOPMENT PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

LOT 4 LOOART SUBDIVISION FIL. NO. 8

PUD DEVELOPMENT
PLAN
6963 CREST HILL VIEW

DATE: 1/5/2022
PROJECT MGR: C. LIEBER
PREPARED BY: B. SWENSON

STAMP

ISSUE INFO

DATE:	BY:	DESCRIPTION:
1/14/2022	JBS	PER CITY COMMENTS
2/14/2022	JBS	PER CITY COMMENTS

ISSUE / REVISION

SITE PLAN

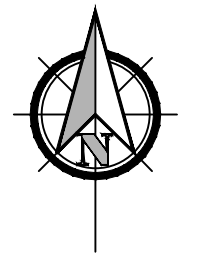
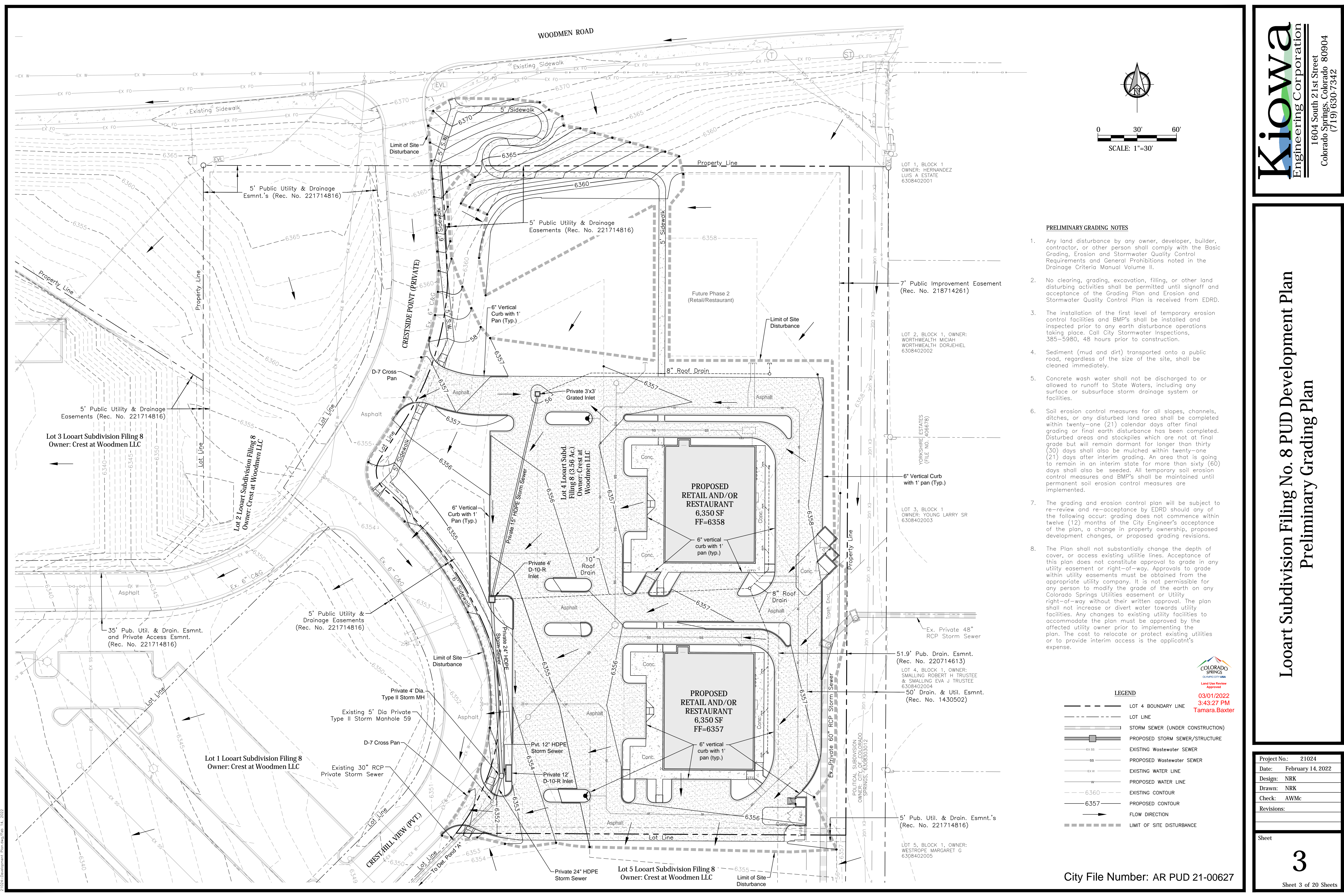
SHEET TITLE

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0 30' 60'
SCALE: 1"=30'

PRELIMINARY GRADING NOTES

- Any land disturbance by any owner, developer, builder, contractor, or other person shall comply with the Basic Grading, Erosion and Stormwater Quality Control Requirements and General Prohibitions noted in the Drainage Criteria Manual Volume II.
- No clearing, grading, excavation, filling, or other land disturbing activities shall be permitted until signoff and acceptance of the Grading Plan and Erosion and Stormwater Quality Control Plan is received from EDRD.
- The installation of the first level of temporary erosion control facilities and BMP's shall be installed and inspected prior to any earth disturbance operations taking place. Call City Stormwater Inspections, 385-5980, 48 hours prior to construction.
- Sediment (mud and dirt) transported onto a public road, regardless of the size of the site, shall be cleaned immediately.
- Concrete wash water shall not be discharged to or allowed to runoff to State Waters, including any surface or subsurface storm drainage system or facilities.
- Soil erosion control measures for all slopes, channels, ditches, or any disturbed land area shall be completed within twenty-one (21) calendar days after final grading or final earth disturbance has been completed. Disturbed areas and stockpiles which are not at final grade but will remain dormant for longer than thirty (30) days shall also be mulched within twenty-one (21) days after interim grading. An area that is going to remain in an interim state for more than sixty (60) days shall also be seeded. All temporary soil erosion control measures and BMP's shall be maintained until permanent soil erosion control measures are implemented.
- The grading and erosion control plan will be subject to re-review and re-acceptance by EDRD should any of the following occur: grading does not commence within twelve (12) months of the City Engineer's acceptance of the plan, a change in property ownership, proposed development changes, or proposed grading revisions.
- The Plan shall not substantially change the depth of cover, or access existing utility lines. Acceptance of this plan does not constitute approval to grade in any utility easement or right-of-way. Approvals to grade within utility easements must be obtained from the appropriate utility company. It is not permissible for any person to modify the grade of the earth on any Colorado Springs Utilities easement or Utility right-of-way without their written approval. The plan shall not increase or divert water towards utility facilities. Any changes to existing utility facilities to accommodate the plan must be approved by the affected utility owner prior to implementing the plan. The cost to relocate or protect existing utilities or to provide interim access is the applicant's expense.

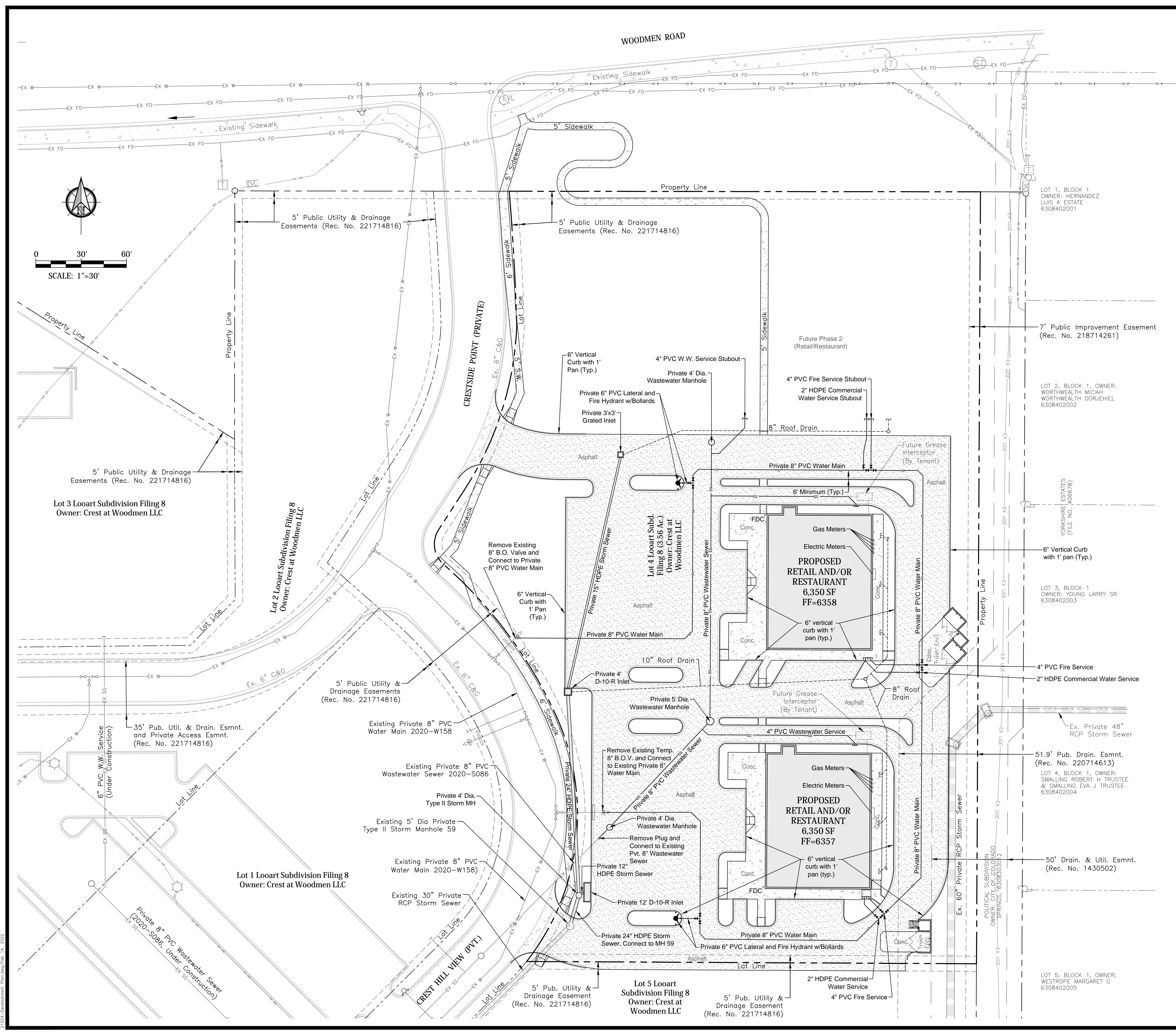
LEGEND

- LOT 4 BOUNDARY LINE
- - - LOT LINE
- STORM SEWER (UNDER CONSTRUCTION)
- PROPOSED STORM SEWER/STRUCTURE
- EXISTING WASTEWATER SEWER
- PROPOSED WASTEWATER SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- 6360 EXISTING CONTOUR
- 6357 PROPOSED CONTOUR
- FLOW DIRECTION
- LIMIT OF SITE DISTURBANCE

COLORADO SPRINGS
Land Use Review
Approved
03/01/2022
3:43:27 PM
Tamara Baxter

**Looart Subdivision Filing No. 8 PUD Development Plan
Preliminary Grading Plan**

Project No.:	21024
Date:	February 14, 2022
Design:	NRK
Drawn:	NRK
Check:	AWMc
Revisions:	



General Notes for Preliminary Utility Plans

- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:
1. Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric, and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
 2. Property Owner(s) ("Owner") acknowledge that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accord with all applicable codes and regulations, Springs Utilities Line Extension and Service Standards ("Standards"), tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
 3. Owner acknowledges responsibility for the costs of extension or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Utilities Rules and Regulations.
 4. Springs Utilities utility services are available on a "first-come, first served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application permanent service is approved by Springs Utilities.
 5. The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
 6. Owner shall dedicate by plot and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
 7. The water system facilities must meet the Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Water Line Extension and Service Standards).
 8. Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When water quality is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
 9. Owner must contact Springs Utilities Field Engineering to determine the location of all electrical meters and transformers and to secure approval gas-service-line pressures in excess of Springs Utilities standard gas-system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
 10. It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easements, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access to maintain utility facilities.
 11. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as these apply to the City generally and are in accord with the then-current tariffs, rates, and policies of Springs Utilities.

LEGEND

	LOT 4 BOUNDARY LINE
	LOT LINE
	STORM SEWER (UNDER CONSTRUCTION)
	PROPOSED STORM SEWER/STRUCTURE
	EXISTING WASTEWATER SEWER
	PROPOSED WASTEWATER SEWER/MH
	EXISTING WATER LINE/VALVE
	PROPOSED WATER LINE/VALVE

COLORADO SPRINGS
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Kiowa
 Engineering Corporation
 1604 South 21st Street
 Colorado Springs, Colorado 80904
 (719) 630-7342

**Looat Subdivision Filing No. 8 PUD Development Plan
 Preliminary Utility and Public Facilities Plan**

Project No.:	21024
Date:	February 14, 2022
Design:	NRK
Drawn:	NRK
Check:	AWMc
Revisions:	

LOT 4 - LOOART SUBDIVISION FIL. NO. 8

COLORADO SPRINGS, COLORADO

FINAL LANDSCAPE PLAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

	SOD	SEED	SHRUB-BROADLEAF	SHRUB-CONIFER
NITROGEN	1.61 LBS/1000SF	0.00 LBS/1000SF	0.0 LBS/1000SF	0.3 LBS/1000SF
PHOSPHORUS (P205)	1.95 LBS/1000SF	1.03 LBS/1000SF	1.1 LBS/1000SF	1.1 LBS/1000SF
POTASSIUM (K2O)	0.69 LBS/1000SF	.34 LBS/1000SF	0.4 LBS/1000SF	0.0 LBS/1000SF
SULFUR (S04-S)	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
MANGANESE	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF	0 LBS/1000SF
- *NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
- A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- ROCK MULCH: 1-1/2" DESERT SAND RIVER ROCK. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
- AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

LANDSCAPE REQUIREMENTS

Landscape Setbacks

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./Prov.
Woodmen Rd	Major Arterial	-- / --	312'	1 / 20'	16 / 16
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided		
0/0	x/x	W	75% / 75%		

Internal Landscaping

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
154,855 S.F.	5%	7,743 S.F. / 74,913 S.F.	16 / 15
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
10 / 219	0 / 190	IN	75% / 75%

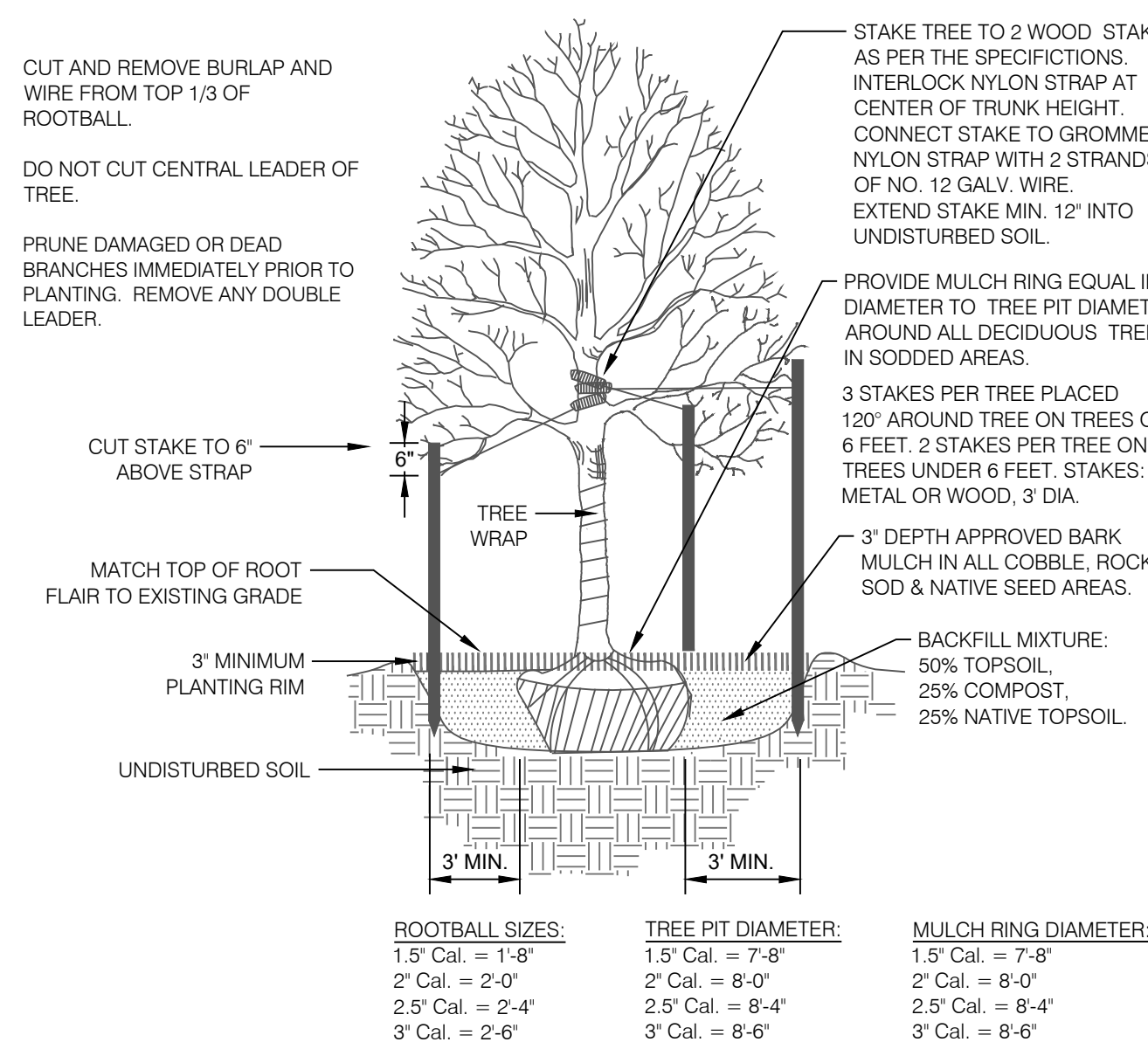
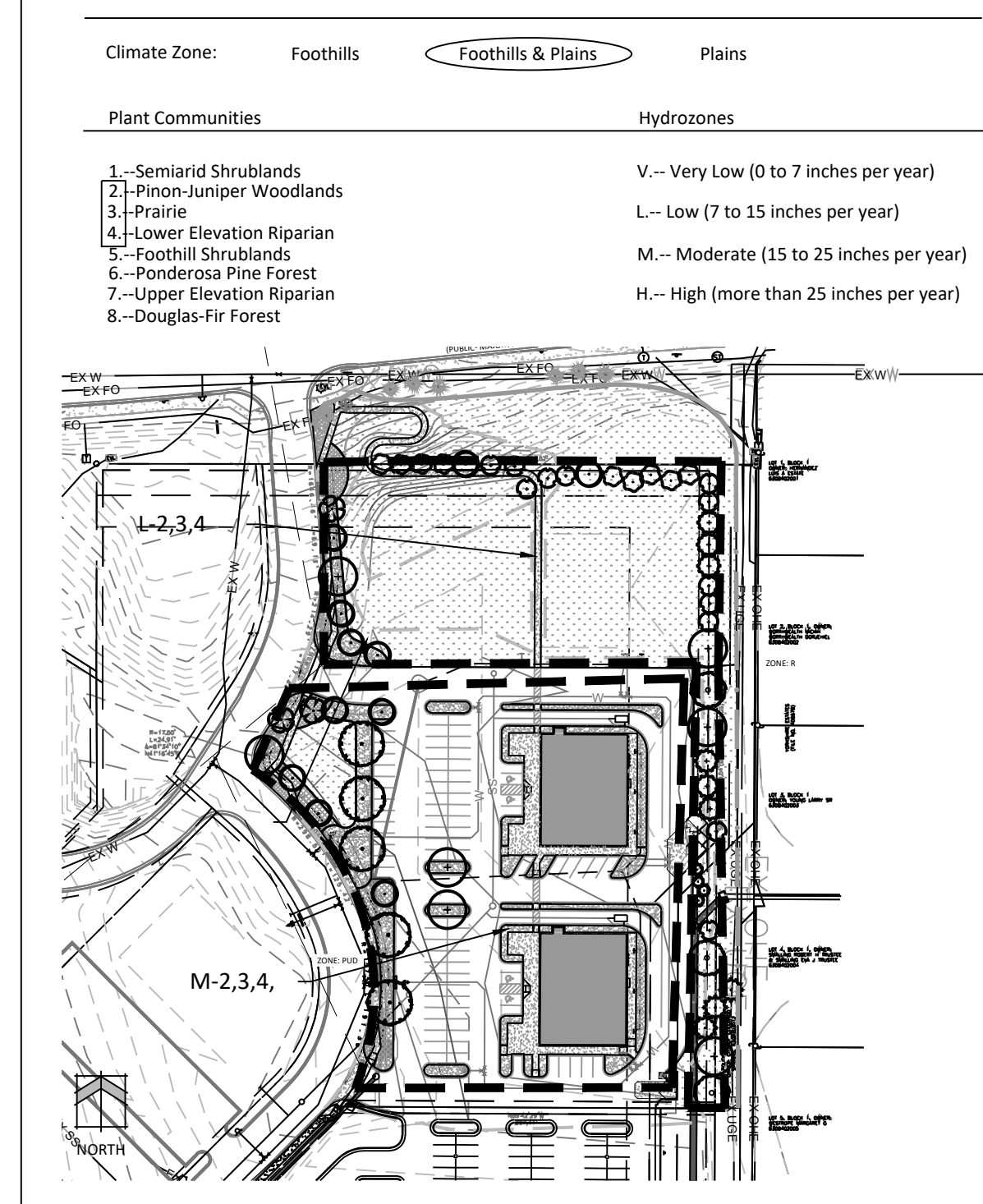
Motor Vehicle Lots

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Plant Abbr. on Plan	Vehicle Lot Frontages	Length of Frontage (excluding driveways)
86	6 / 6	MV	----	--
2/3 Length of Frontage (ft.)	Length of Screening Wall or Berm Provided	Min. 3' Screening Plants Req. / Prov.	Evergreen Plants Req. (50%) / Prov.	Percent Ground Plane Veg. Req. / Prov.
--	--	-- / --	-- / --	75% / 75%

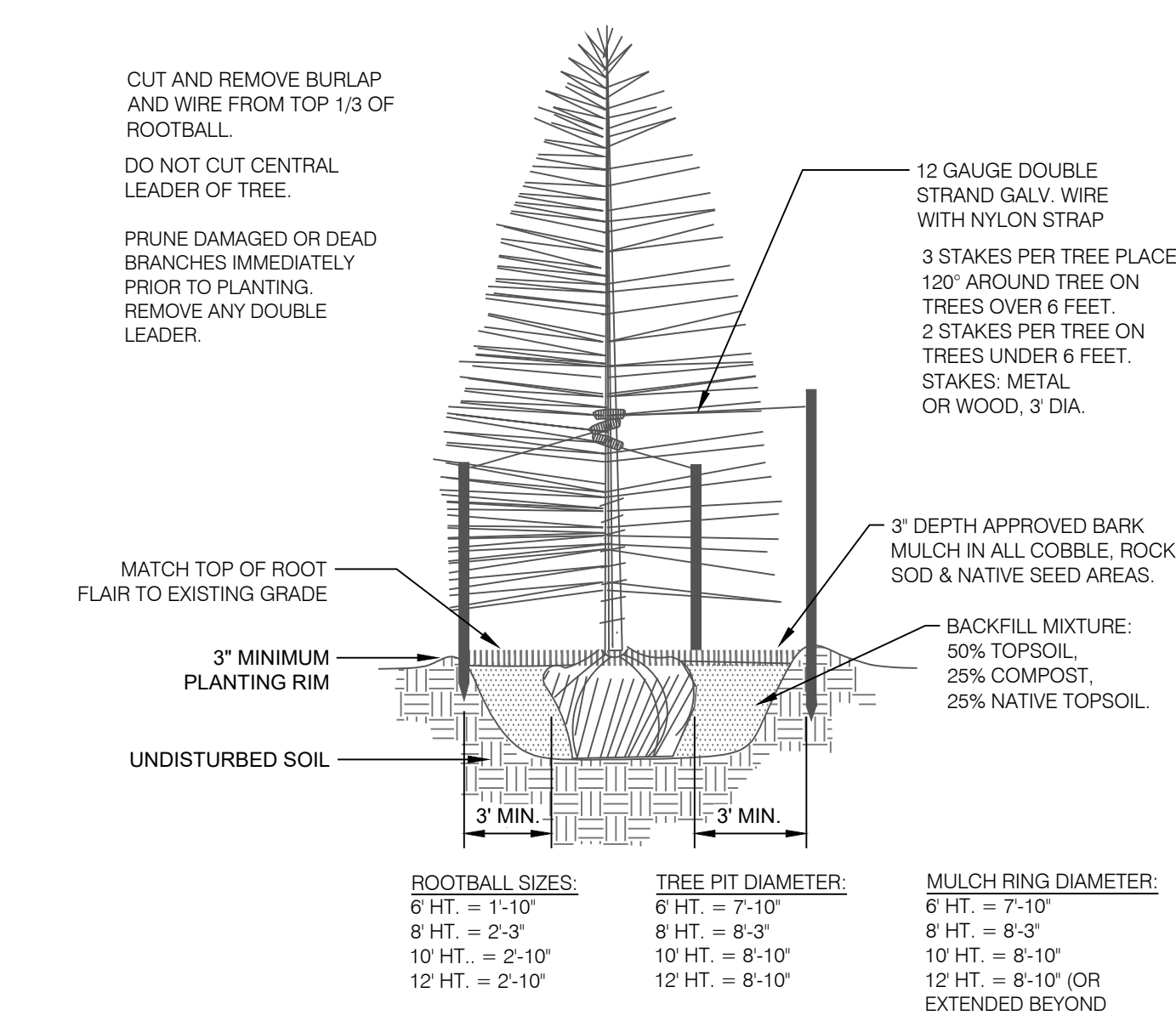
Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Length of 6' Opaque Structure Req. / Prov.
Eastern Boundary	15' / 15'	511	-- / --
Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
26 / 26	13 / 16	BR	75% / 100%

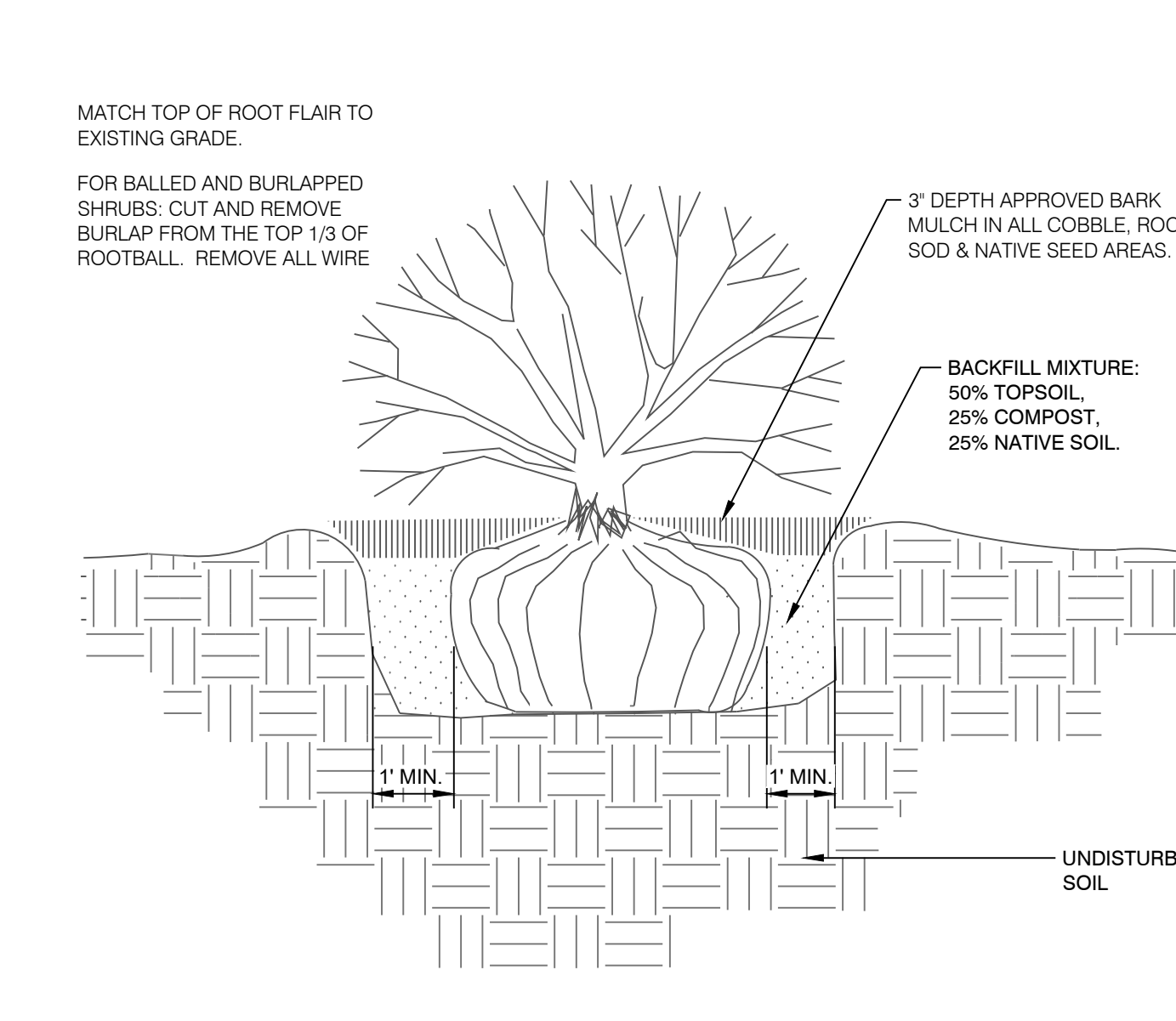
SCHEMATIC LANDSCAPE DIAGRAM



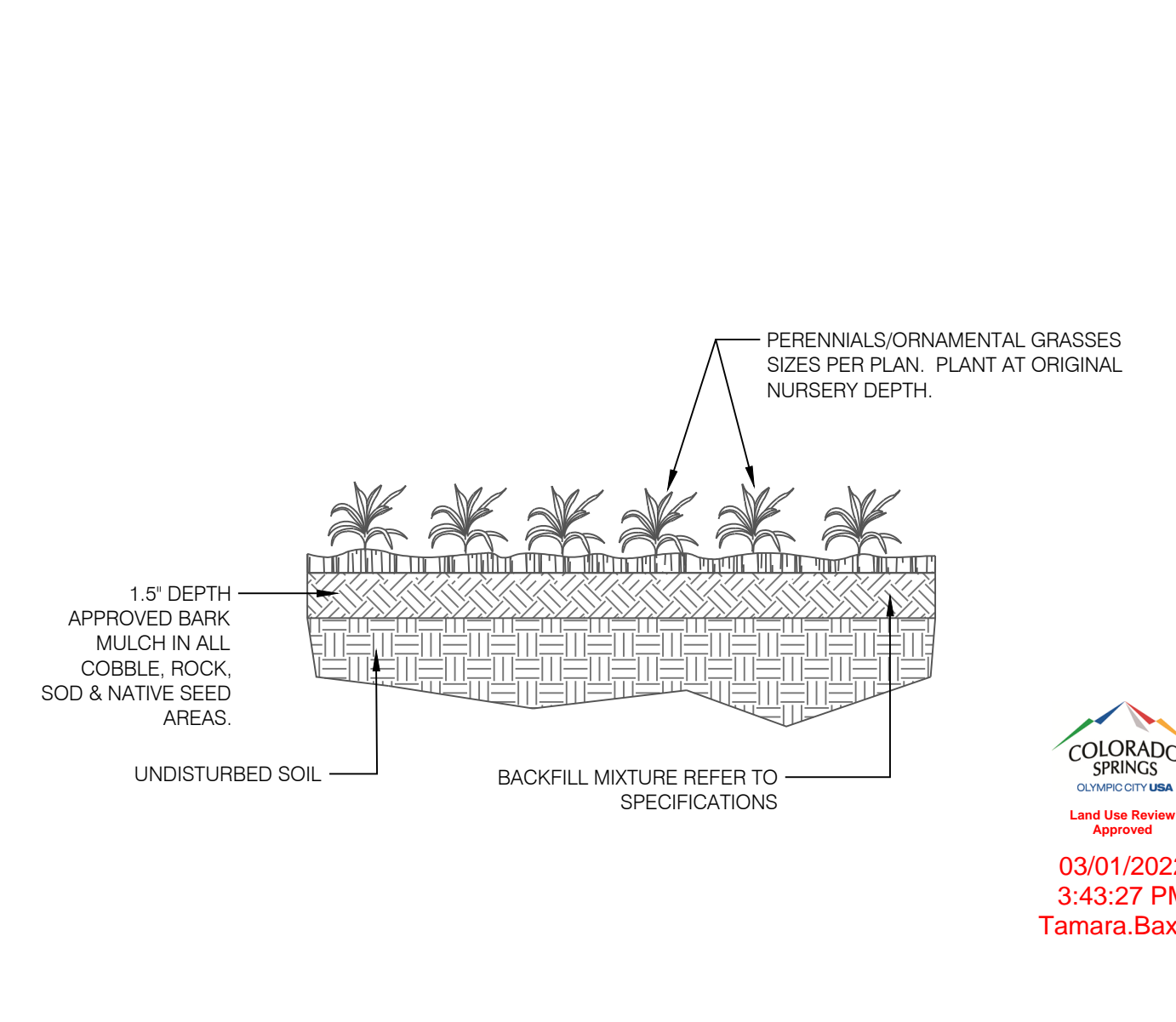
1 DECIDUOUS TREE PLANTING DETAIL
N.T.S. NES-LS-01



2 CONIFEROUS TREE PLANTING DETAIL
N.T.S. NES-LS-02



3 SHRUB PLANTING DETAIL
N.T.S. NES-LS-03



4 PERENNIAL / ORNAMENTAL GRASS PLANTING
N.T.S. NES-LS-04

LOT 4 LOOART SUBDIVISION FILING NO. 8

FINAL LANDSCAPE PLAN

6963 CREST HILL

DATE: 9/20/2021
PROJECT MGR: B. SWENSON
PREPARED BY: C. HELMLINGER

STAMP

DATE:	BY:	DESCRIPTION:
1/14/2022	JBS	PER CITY COMMENTS
2/14/2022	JBS	PER CITY COMMENTS

FINAL LANDSCAPE PLAN DETAILS & NOTES

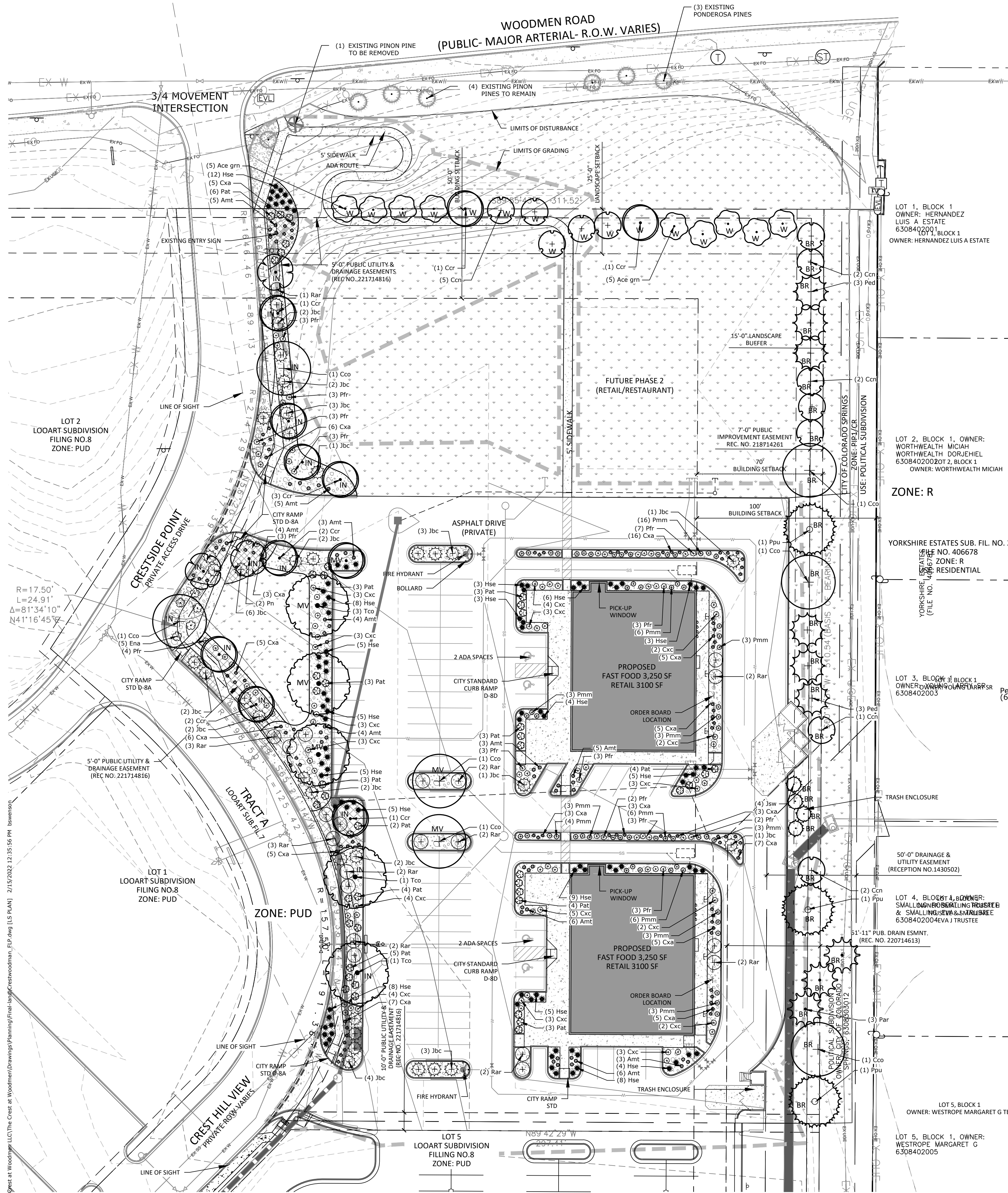
5

5 OF 8

AR PUD 21-00627

P:\Crest at Woodmen\Drawings\Planning\Final-land\Crestwoodman - FLP.dwg [CITY - FLP SEPARATE COVER] 2/15/2022 12:36:42 PM bswenson

COLORADO SPRINGS
Land Use Review
Approved
03/01/2022
3:43:27 PM
Tamara.Baxter



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Ace grn	9	Acer tataricum 'GarAnn' TM / Hot Wings Tatarian Maple	15'	15'	2" Cal.	B&B	457A
	Ccn	12	Cercis canadensis / Eastern Redbud	20'	20'	2" Cal.	B&B	S
	Cco	7	Corylus columna / Turkish Filbert	45'	30'	2" Cal.	B&B	--
	Ccr	11	Crataegus crus-galli / Cockspur Hawthorn	20'	20'	2" Cal.	B&B	235AD
	Pn	3	Prunus nigra 'Princess Kay' / Princess Kay Plum	25'	25'	2" Cal.	B&B	467S
	Tco	5	Tilia cordata / Littleleaf Linden	45'	35'	2" Cal.	B&B	4S
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Jsw	4	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	20'	10'	6" HT	B&B	125678D
	Ppu	3	Picea pungens / Colorado Spruce	60'	30'	8" HT	B&B	678S
	Par	3	Pinus aristata / Bristlecone Pine	40'	20'	6" HT	B&B	45678DA
	Ped	6	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B	1256D
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Cxc	49	Caryopteris x clandonensis / Bluebeard	3'	3'	5 GAL	CONT	1235A
	Ena	5	Ericameria nauseosa / Rubber Rabbitbrush	5'	5'	5 GAL	CONT	1235D
	Pfr	49	Potentilla fruticosa / Bush Cinquefoil	3'	3'	5 GAL	CONT	4567S
	Rar	21	Rhus aromatica / Fragrant Sumac	3'	8'	5 GAL	CONT	23456DA
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Jbc	34	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	1'	8'	5 GAL	CONT	2568A
	Pmm	59	Pinus mugo 'Mops' / Mops Mugo Pine	3'	3'	5 GAL	CONT	1256D
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Cxa	92	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5'	2'	1 GAL	CONT	A
	Hse	98	Helictotrichon sempervirens / Blue Oat/Blue Avena	3'	2.5'	1 GAL	CONT	1234D
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Amt	48	Achillea millefolium 'Terra Cotta' / Yarrow Terra Cotta	2'	2'	1 GAL	CONT	1356A
	Pat	43	Perovskia atriplicifolia / Russian Sage	4'	4'	1 GAL	CONT	12D

Percent Signature Trees** : Signature Trees: 45 Total No. of Trees: 64 = 70% Signature Trees
 Percent Signature Shrubs** : Signature Shrubs: 228 Total No. of Shrubs: 228 = 100% Signature Shrubs

GROUNDCOVER LEGEND

	EXISTING TREE	7
	EXISTING TREE TO BE REMOVED	1
	EL PASO COUNTY ALL PURPOSE LOW GROW MIX SEED AT 42 LBS/ACRE GENERAL SEED MIX: 25% BUCHLOE DACTYLOIDES 20% BOUTELOUA GRACILIS 29% BOUTELOUA CURTIPENDULA 5% NASSELLA VIRIDULA 20% PASCOPYRUM SMITHII 1% SPOROBOLUS CRYPTANDRUS	81,011 sf
	ROCK MULCH 1-1/2" DESERT SAND RIVER ROCK (MATCH EXISTING ROCKMULCH)	13,914 sf
	WOOD MULCH GORILLA HAIR CEDAR MULCH	3,586 sf



N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
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LOT 4 LOOART SUBDIVISION FILING NO. 8 FINAL LANDSCAPE PLAN

6963 CREST HILL

DATE: 9/20/2021
 PROJECT MGR: B. SWENSON
 PREPARED BY: C. HELMLINGER

STAMP

DATE:	BY:	DESCRIPTION:
1/14/2022	JBS	PER CITY COMMENTS
2/14/2022	JBS	PER CITY COMMENTS

FINAL LANDSCAPE PLAN

COLORADO SPRINGS
 LAND USE REVIEW
 03/01/2022
 3:43:27 PM
 Tamara Baxter

6
 6 OF 8

AR PUD 21-00627

P:\Client at Woodmen\Drawings\Planning\Final\Landsc\Woodmen - FLP.dwg [LS PLAN] 2/15/2022 12:35:56 PM bswenson



MATERIAL KEY

- STUCCO, TAN COLOR
- STONE VENEER, TAN COLORED LEDGE STONE
- METAL PANEL, FAUX WD.

STOREFRONT:

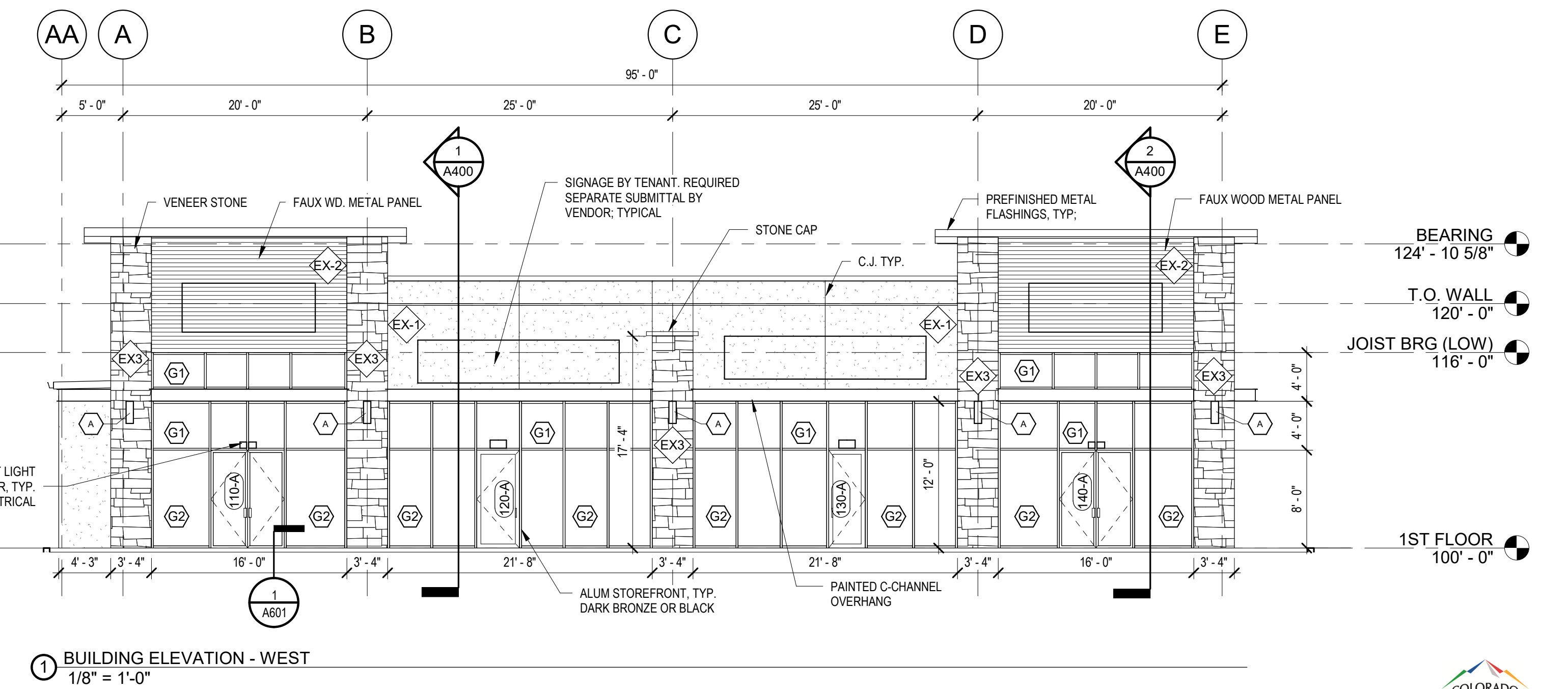
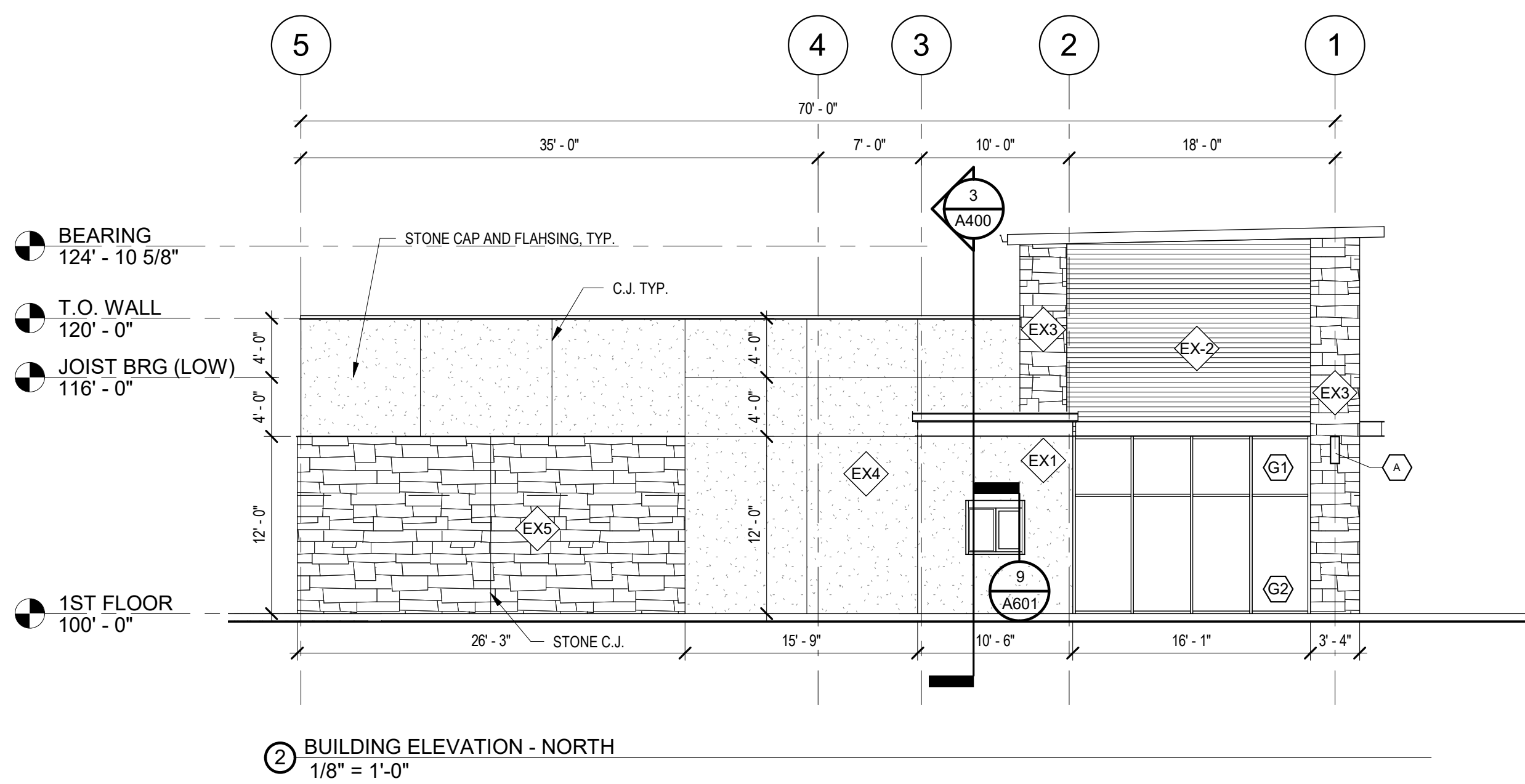
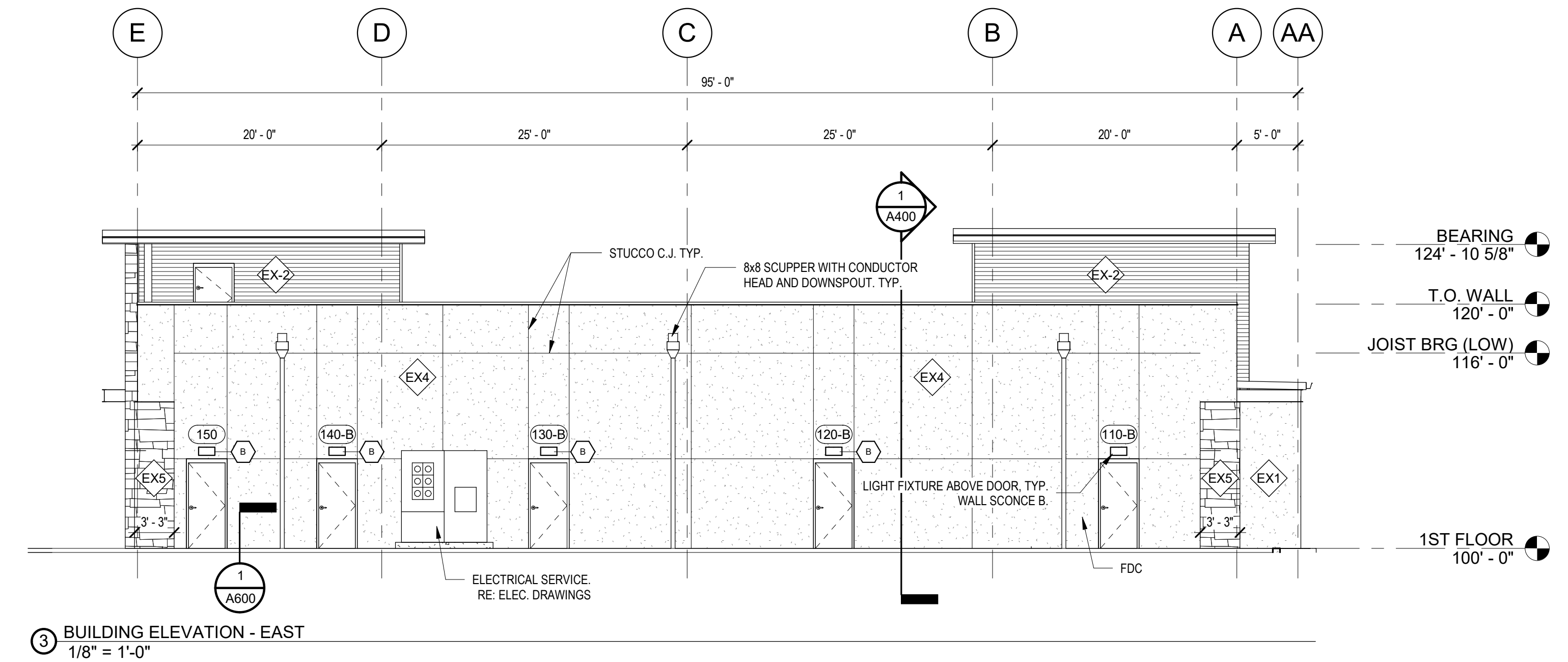
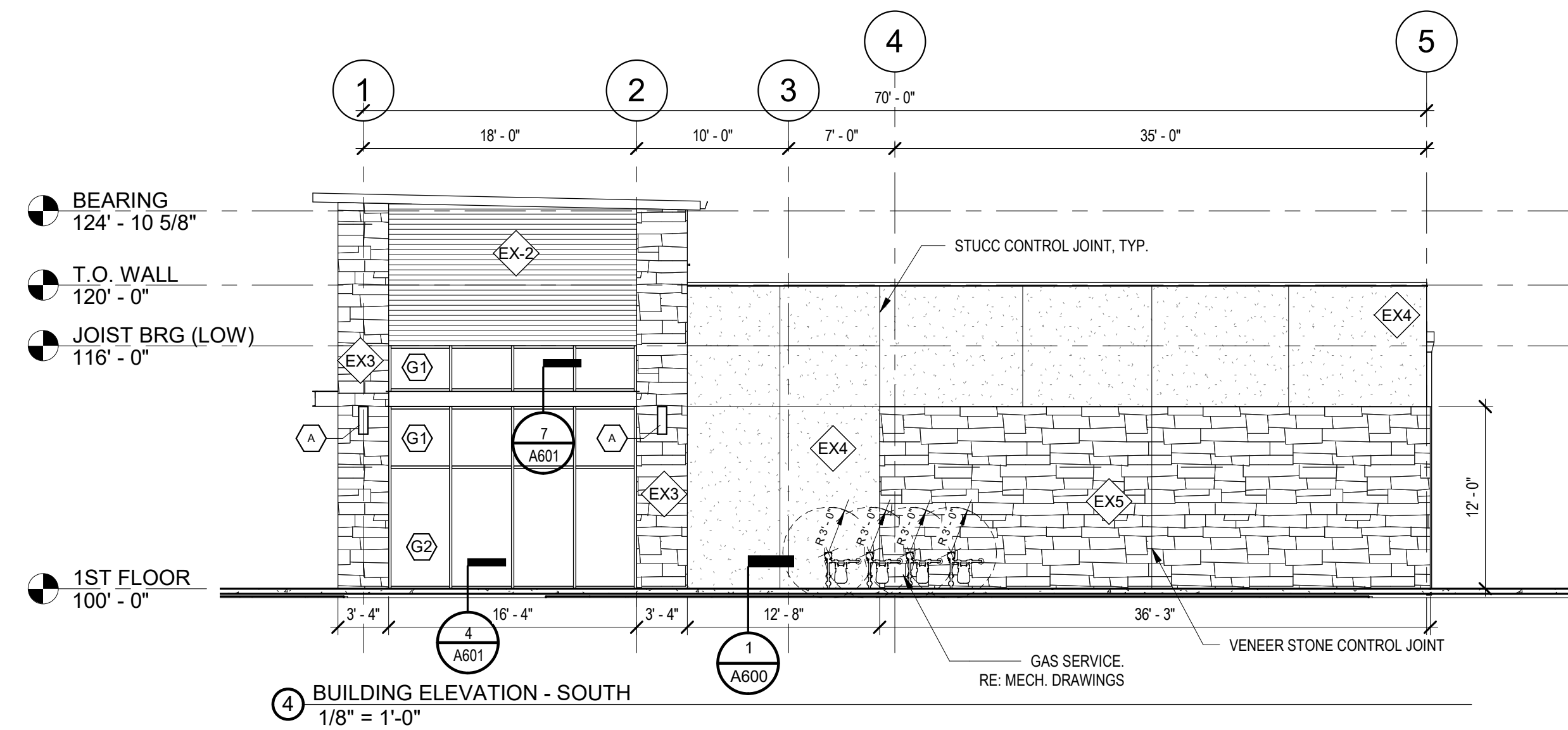
FRAMING: DARK BRONZE OR BLACK, PER OWNER

GLAZING:
G1 = EXTERIOR GLAZING (TYP, U.O.N.)
G2 = TEMPERED EXTERIOR GLAZING

LIGHT SCENCE SPECS.

LIGHT SCENCE A:
MANUF: OXYGEN
MODEL #: 37-713-2XX

LIGHT SCENCE B:
MANUF: LITHONIA
MODEL #: OVWP LED 40K 120



YOW Architects PC
Architecture & Planning

115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule

WOODMEN LOT 4 RETAIL
1005 E. WOODMEN RD
COLORADO SPRINGS, CO

Project Number
21.0162

Date
01/03/2021

Drawn By
SLF
Checked By
YOW

A300
EXTERIOR ELEVATIONS
AR PUD 21-00627



03/01/2022
3:43:27 PM
Tamara.Baxter

2/14/2022 5:19:39 PM

ILLUMINATION SYSTEMS
 5 SOUTH KALAMATH STREET
 DENVER, CO 80223
 PHONE: 303.295.2900
 FAX: 303.293.8337
 WWW.ILLUMSYS.COM

**FOR PRICING AND AVAILABILITY
 CONTACT ILLUMINATION SYSTEMS**

**PHOTOMETRICS ARE NOT TO SCALE
 DRAWINGS ARE FOR ESTIMATING
 PURPOSES ONLY.**

**FOOT-CANDLE VALUES ARE
 PREDICTED AT HORIZONTAL
 CALCULATIONS UNLESS SPECIFIED
 OTHERWISE. ACTUAL
 FOOT-CANDLES MAY VARY.**

**FINAL CONSTRUCTION DRAWINGS
 & CALCULATIONS ARE THE
 RESPONSIBILITY OF A LICENSED
 ARCHITECT OR ENGINEER.**



LUMINAIRE SCHEDULE					
SYMBOL	QTY	LABEL	WATTS	UMENS	LLF
	2	D1	225	25803	0.900
	9	S1	279	28918	0.900

CALCULATION STATISTICS			
REFLECTANCES	CALCULATION SPACING	FC CALCULATION HEIGHT	MOUNTING HEIGHT
CEILING: 80% WALLS: 50% FLOORS: 20%	2'-0" x 2'-0"	WORKPLANE: 2'-6" A.F.F. FLOOR 0'-0" A.F.F.	NOTED ON PLAN "MH: *"

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
OVERALL SITE	FC	0.71	8.3	0.0	N.A.	N.A.
DRIVE	FC	3.32	16.0	0.8	4.15	7.50
PARKING	FC	3.56	8.3	1.1	3.24	7.55

COLORADO SPRINGS
 Land Use Review
 Approved
 03/01/2022
 3:43:27 PM
 Tamara Baxter

**LOT 4 LOOART SUBDIVISION FIL. NO. 8
 PUD DEVELOPMENT PLAN**

SITE PHOTOMETRIC PLAN

**DRAWN BY:
 KERI STORMS**

DATE: 8/25/2021

DSC DESIGN, SUPPORT & CONTROLS

AR PUD 21-00627