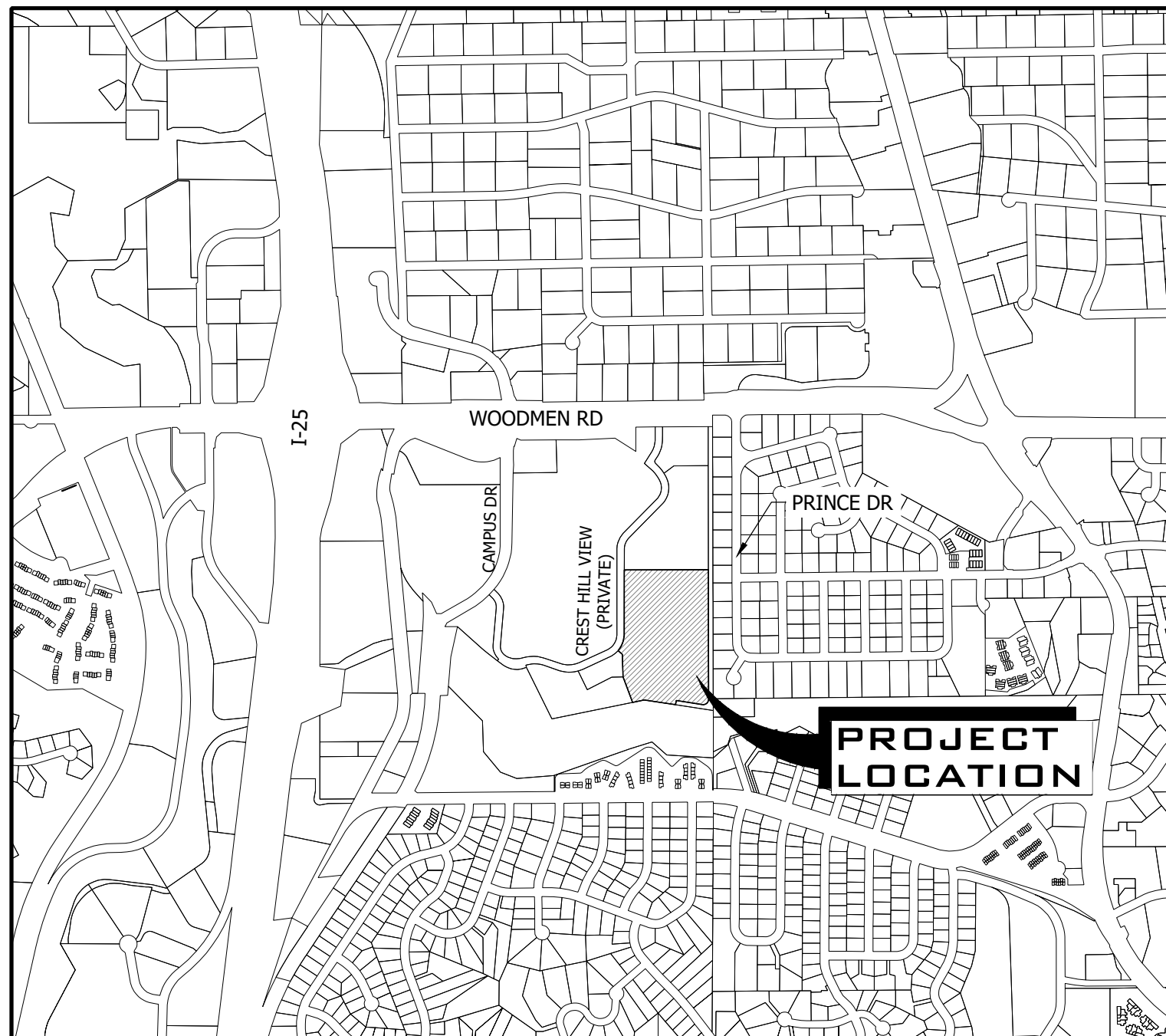


DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



VICINITY MAP
SCALE 1" = 1,000'

SHEET LIST TABLE	
SHEET #	SHEET TITLE
1 OF 18	COVER SHEET
2 OF 18	OVERALL SITE PLAN
3 OF 18	SITE PLAN
4 OF 18	PRELIM. UTILITY & PUBLIC FACILITIES PLAN
5 OF 18	PRELIMINARY GRADING PLAN
6 OF 18	SITE LIGHTING PLAN
7 OF 18	SITE LIGHTING CALCULATIONS
8 OF 18	SITE LIGHTING DETAILS
9 OF 18	PRELIMINARY LANDSCAPE PLAN
10 OF 18	SCHEMATIC LANDSCAPE DIAGRAM
11 OF 18	LANDSCAPE PLANT SCHEDULE, NOTES & TABULATIONS
12 OF 18	LANDSCAPE DETAILS
13 OF 18	LANDSCAPE DETAILS
14 OF 18	BUILDING TYPE 1 ELEVATIONS
15 OF 18	BUILDING TYPE 1 ELEVATIONS
16 OF 18	BUILDING TYPE 2 ELEVATIONS
17 OF 18	GARAGE ELEVATIONS
18 OF 18	TRASH ENCLOSURE ELEVATIONS

CONTACT LIST			
OWNER	APPLICANT	DEVELOPER	ARCHITECT
CREST AT WOODMEN LLC	THE GARRETT COMPANIES, LLC	THE GARRETT COMPANIES, LLC	THE ARCHITECTURE STUDIO
900 TOWN & COUNTRY LN STE 210 HOUSTON, TX 77024-2229	1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143 317-886-7923 CONTACT: KARL STOUT	1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143 317-886-7923 CONTACT: KARL STOUT	5750 CASTLE CREEK PARKWAY NORTH DRIVE INDIANAPOLIS, IN 46250 317-842-8070 CONTACT: DAVID TOTH
CIVIL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR	
R&R ENGINEERS-SURVEYORS, LLC 1635 WEST 13TH AVENUE, SUITE 310 DENVER, CO 80204 303-753-6730 CONTACT: JOHN LOUGHREY, P.E.	THE GARRETT COMPANIES, LLC 1051 GREENWOOD SPRINGS BLVD, SUITE 101 GREENWOOD, IN 46143 317-886-7923 CONTACT: NICK SMITH		

DEVELOPMENT PLAN NOTES

- ALL COMMON AREAS ARE TO BE OWNED AND MAINTAINED BY THE GARRETT COMPANIES, ITS HEIRS, SUCCESSORS, OR ASSIGNS.
- ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-385-6720.
- SIGNAGE IS NOT APPROVED WITH THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR A SIGN PLAN APPLICATION.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ALL PROPOSED PUBLIC FACILITIES SHOWN HEREON SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND SHALL BE INSTALLED BY THE DEVELOPER.
- THE SITE IS NOT LOCATED WITHIN A FEMA FLOODPLAIN PER FEMA FIRM 08041C0516G, DATED DECEMBER, 2018.
- PLAT NOTE #11: "THIS PROPERTY IS IMPACTED BY THE TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AVIGATION EASEMENT RECORDED MARCH 23, 2018 UNDER RECEPTION NO. 218032701."
- FULL SPECTRUM DETENTION IS PROVIDED FOR THIS SITE BY THE PRIVATE SUB-REGIONAL FACILITY LOCATED ON TRACT C, WEST OF THIS SITE.
- IN ORDER TO ACHIEVE THE REQUIRED ACCESS WITHIN THE COURTYARD AREA FOR THE FIRE DEPARTMENT, A HOSE VALVE, CONNECTED TO THE REQUIRED BUILDING STANDPIPES, WILL BE PROVIDED ON THE GROUND FLOOR IN THE STAIR WELLS THAT OPEN UP TO THE COURTYARD, IN ADDITION TO THE OTHER REQUIRED LOCATIONS.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS. STREET TREES, STREETScape IMPROVEMENTS, AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- PLAT NOTE #6: THIS SUBDIVISION IS SUBJECT TO THE CREST AT WOODMEN FENCE MAINTENANCE AGREEMENT BETWEEN CREST AT WOODMEN LLC AND THE CITY OF COLORADO SPRINGS AS RECORDED UNDER RECEPTION NUMBER 218027491 AND AMENDED UNDER RECEPTION NUMBER 219094612.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY CTL THOMPSON DATED FEBRUARY 6, 2020, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THIS PROPERTY: ARTIFICIAL AND UNDOCUMENTED FILL, STEEP SLOPES. ADDITIONALLY, A GEOLOGIC HAZARD VALIDATION LETTER, BY CTL THOMPSON, DATED MARCH 29, 2021, HAS BEEN PREPARED FOR THE SUBJECT PROPERTY. A COPY OF SAID REPORT AND LETTER HAVE BEEN PLACED WITHIN FILES #CPC PUP 20-00045 AND #AR PUD 21-00163, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 701, COLORADO SPRINGS, CO IF YOU WOULD LIKE TO REVIEW SAID REPORT AND LETTER.
- TRACT A (CREST HILL VIEW) IS A VARIABLE WIDTH PRIVATE ACCESS AND EMERGENCY ACCESS TRACT, OWNED AND MAINTAINED BY THE OWNERS OF LOOART SUBDIVISION FIL. NO. 7, LOT 1

FIRE DEPARTMENT SPECIFIC NOTES

- HOSE VALVES SHALL BE PLACED ON THE GROUND LEVEL OF EACH STAIRWELL TO MEET THE FIRE ACCESS REQUIREMENTS OF SECTION 5.3.1.1, EXCEPTION 1.2 OF THE 2018 COLORADO SPRINGS FIRE CODE.
- ALL-WEATHER, METAL SIGNS WILL BE PLACED ON THE EXTERNAL FACE OF THE BUILDING SUCH THAT IT CAN EASILY BE SEEN FROM SOMEONE APPROACHING THE STAIRWELL FROM THE COURTYARD. THE SIGN SHALL BE RED LETTERING ON WHITE BACKGROUND WITH MINIMUM 1-INCH RAISED LETTERING AND SHALL READ "HOSE VALVE INSIDE".
- IN ORDER TO ACHIEVE THE REQUIRED ACCESS WITHIN THE COURTYARD AREA FOR THE FIRE DEPARTMENT, A HOSE VALVE, CONNECTED TO THE REQUIRED BUILDING STANDPIPES, WILL BE PROVIDED ON THE GROUND FLOOR IN THE STAIR WELLS THAT OPEN UP TO THE COURTYARD, IN ADDITION TO THE OTHER REQUIRED LOCATIONS.

FEMA FLOODPLAIN NOTE
NO PORTION OF THE SITE IS WITHIN A FEMA-DESIGNATED FLOODPLAIN PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), CITY OF COLORADO SPRINGS, COLORADO AND UNINCORPORATED AREAS, PANEL 516 MAP NO. 08041C0516G (DECEMBER 2018).

SITE LIGHTING NOTE
PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.

SCHEDULE:	SCHEDULE FOR COMMON PRIVATE DRIVES, REGIONAL DETENTION POND & OTHER IMPROVEMENTS
APPROX CONSTRUCTION START: SEPTEMBER 2021	APPROX CONSTRUCTION START: JULY 2021
APPROX CONSTRUCTION COMPLETION: SEPTEMBER 2023	APPROX CONSTRUCTION COMPLETION: JULY 2022

AIR FORCE NOTICE
NOTE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES, OR UNTIL ALL AIRPORTS ON THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.

LEGEND

<p>— EX. PROPERTY LINE</p> <p>--- EX. EASEMENT</p> <p>==== EX. CURB AND GUTTER</p> <p>===== EX. CONCRETE SIDEWALK</p> <p>⊙ EX. FIRE HYDRANT</p> <p>⊙ EX. UTILITY POLE</p> <p>⊙ EX. STREET LIGHT</p>	<p>--- PROP. PROPERTY LINE</p> <p>--- PROP. EASEMENT</p> <p>==== PROP. CURB AND GUTTER</p> <p>===== PROP. CONCRETE SIDEWALK</p> <p>□ PROP. HANDRAIL</p> <p>—x— PROP. FENCE</p> <p>⊙ PROP. FIRE HYDRANT</p> <p>⊙ PROP. UTILITY POLE</p>	<p>☆ PROP. STREET LIGHT</p> <p>--- PROP. ADA ACCESS ROUTE</p> <p>--- PROP. FIRE LANE CURB STRIPING</p> <p>===== PROP. RETAINING WALL</p> <p>⬡ PARKING COUNT (STANDARD)</p> <p>⬡ PARKING COUNT (COMPACT)</p> <p>⬡ PARKING COUNT (GARAGE)</p>	
---	--	---	--

THE SUBJECT DEVELOPMENT HAS BEEN GRANTED RELIEF TO CODE SECTION 7.3.600 ALLOWING 49' 5.5" TALL BUILDINGS WHERE A MAX HEIGHT OF 45' IS REQUIRED. PLEASE SEE FILE NUMBER AR 21-00164

SITE DATA:

ADDRESS: 6773 CREST HILL VIEW
TAX SCHEDULE #: 6308303023
ZONING: PLANNED UNIT DEVELOPMENT WITH STREAMSIDE OVERLAY
(CPC PUP 20-00045; CITY CODE SECTION 7.3.600)
EXISTING LAND USE: UNDEVELOPED
PROPOSED USE: MULTI-FAMILY RESIDENTIAL - APARTMENTS (296 UNITS)
MASTER PLAN: N/A
CONCEPT PLAN: THE CREST AT WOODMEN (CPC PUP 20-00045)
TOTAL DEVELOPMENT PLAN AREA: 11.07 ACRES
APPROXIMATE SITE AREA: 11.07 ACRES
BUILDING FOOTPRINT: 112,009 SF
MAXIMUM ALLOWABLE BUILDING HEIGHT: 45'
MAXIMUM BUILDING HEIGHT PROVIDED: 49' 5.5" (51' 9" ALLOWED w/ ADMINISTRATIVE RELIEF)

LOT COVERAGE:

BUILDINGS: 112,009 SF
PAVEMENT/HARDSCAPE: 211,636 SF
TOTAL LOT COVERAGE: 323,645 SF
TOTAL RESIDENTIAL UNITS: 296
REQUIRED LOT AREA PER UNIT: 1,450 S.F.
PROVIDED LOT AREA PER UNIT: 1,629 S.F.
PROVIDED OPEN SPACE AREA PER UNIT: 537 S.F.
TOTAL REQUIRED PARKING: 489 SPACES
1 BR - 1.5 SPACES/UNIT (128 UNITS) = 192 SPACES
2 BR - 1.7 SPACES/UNIT (130 UNITS) = 221 SPACES
3 BR - 2.0 SPACES/UNIT (38 UNITS) = 76 SPACES

TOTAL PARKING PROVIDED: 489 SPACES
STANDARD = 323 SPACES
COMPACT = 44 SPACES (9%)
DETACHED GARAGE = 122 SPACES

ACCESSIBLE PARKING SPACES REQUIRED: 9

ACCESSIBLE PARKING SPACES PROVIDED: 15

MINIMUM BUILDING SETBACKS REQUIRED*:

- EAST: 70' FROM CITY OF COLORADO SPRINGS OWNED PROPERTY
- 100' FROM RESIDENTIAL
- SOUTH: 50'
- NORTH: N/A
- WEST: N/A

*- THE CREST AT WOODMEN DEVELOPMENT IS A UNIFIED COMMERCIAL DEVELOPMENT SO BUILDING SETBACKS ARE MEASURED FROM THE PERIPHERY BOUNDARIES OF THE OVERALL DEVELOPMENT AND THERE ARE NO INTERNAL BUILDING SETBACKS.

LANDSCAPE SETBACKS REQUIRED:

- EAST: 15' LANDSCAPE BUFFER
- NORTH: 15' LANDSCAPE BUFFER
- WEST: 15' LANDSCAPE BUFFER
- SOUTH: N/A

DRAINAGE BASIN: COTTONWOOD CREEK

LEGAL DESCRIPTION (AS PLATTED)

LOT 6 AS PLATTED IN LOOART SUBDIVISION FILING NO. 7, COUNTY OF EL PASO, STATE OF COLORADO;

CONTAINING 13.409 ACRES (584,104 SQUARE FEET), MORE OR LESS.

LEGAL DESCRIPTION (TO BE PLATTED)

LOT 6, LOOART SUBDIVISION FILING NO. 8, COUNTY OF EL PASO, STATE OF COLORADO;

CONTAINING 11.070 ACRES (482,226 SQUARE FEET), MORE OR LESS.

BASIS OF BEARING

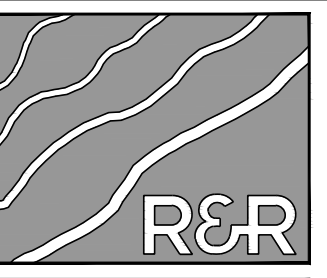
BASIS OF BEARINGS IS THE EAST LINE OF LOT 2, LOOART SUBDIVISION FILING NO. 7, MONUMENTED ON THE NORTH END WITH A FOUND NO. 5 REBAR, WITH NO CAP, AND MONUMENTED ON THE SOUTH END WITH A FOUND NO. 5 REBAR, WITH A 1 1/4" RED PLASTIC CAP. PLS 38038 AS SHOWN AND ASSUMED TO BEAR S00°17'31"W, A DISTANCE OF 1850.24 FEET.

Signage is not approved with this plan. A separate sign permit is required. Contact Development Review at 2880 International Circle Ste 200 for sign plan applications.



07/31/2021
12:10:56 PM
dsxton

NO.	REVISION	BY	DATE
3RD SUBMITTAL	CAV	6/16/21	



ENGINEERS SURVEYORS

R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR CONSTRUCTION

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

JOB NO. GC21053
ORG. SUBM. DATE 3/19/2021
DWN: CAV /CHKD: JHL
NAME

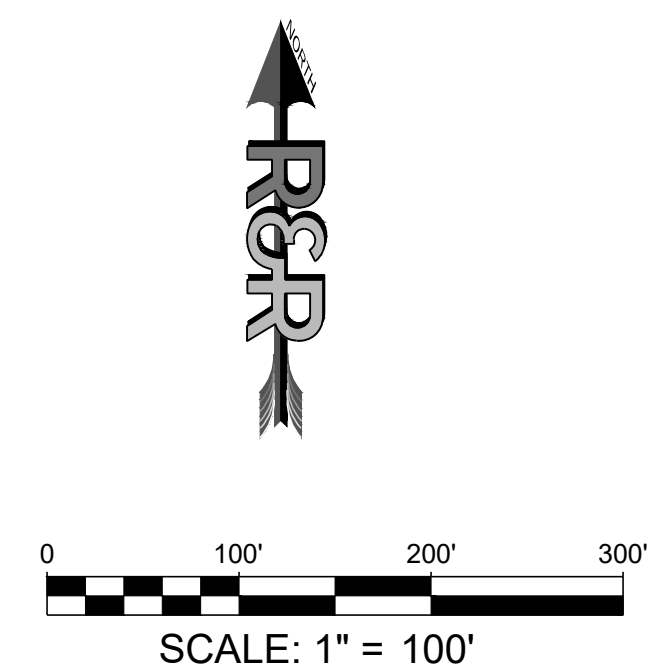
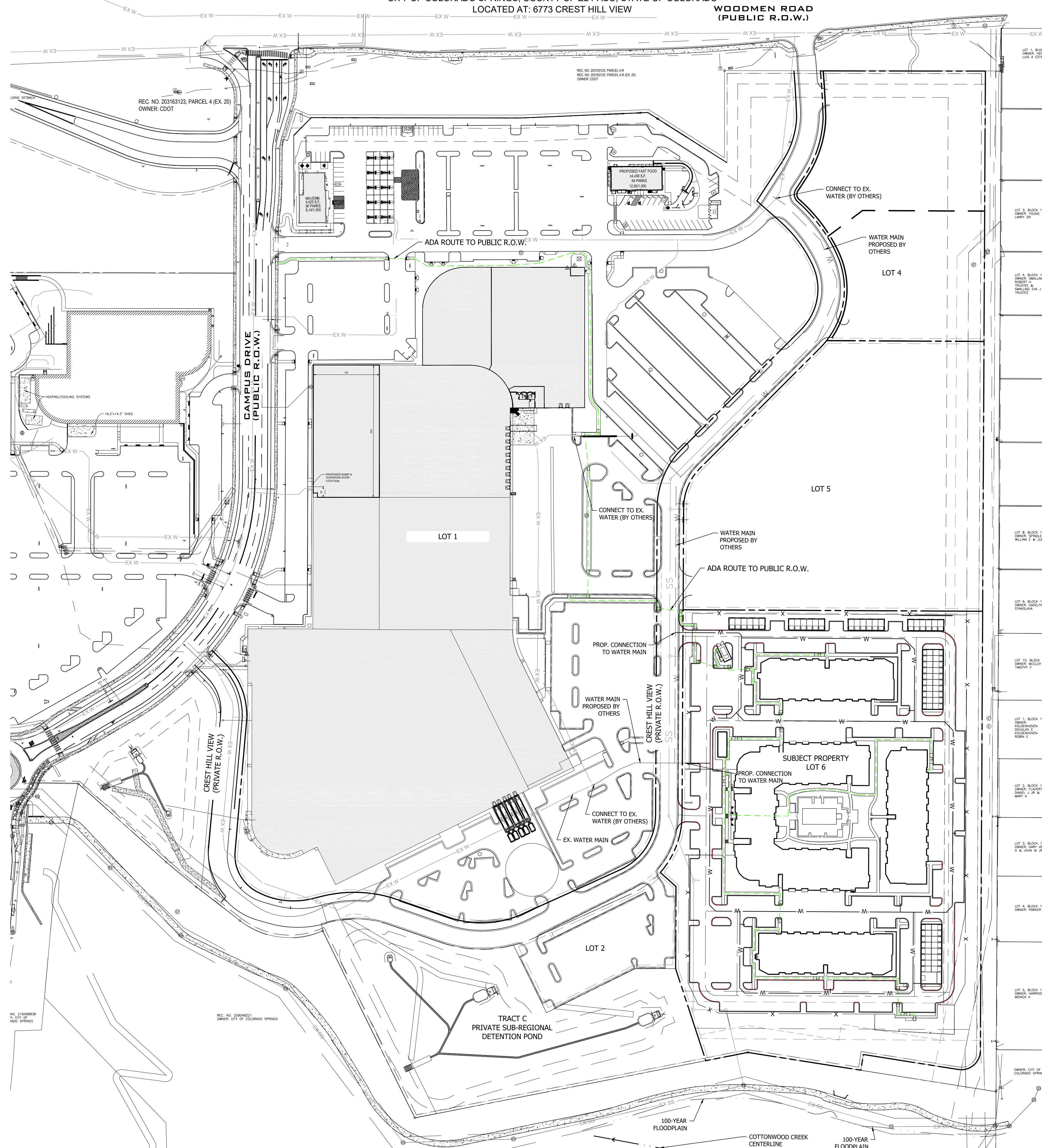
COVER SHEET

NO. 1 OF 18

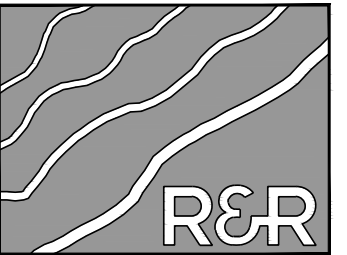
P:\A\16\021053 GARRETT - CREST AT WOODMEN\ENGINEERING\DRAWINGS\PLANS\021053-CVP.DWG - PLOT DATE 7/12/2021 4:26:40 PM - B:\COREY\WOLFE

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



NO.	REVISION	BY	DATE
2ND SUBMITTAL		CAV	5/11/21
3RD SUBMITTAL		CAV	6/16/21



R&R ENGINEERS-SURVEYORS, INC.
ENGINEERS
SURVEYORS

1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR
CONSTRUCTION

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

DEVELOPMENT PLAN
JOB NO. GC21053
ORG. SUBM. DATE 3/19/2021
DWN: CAV /CHKD: JHL
NAME

OVERALL SITE
PLAN

NO. 2 OF 18

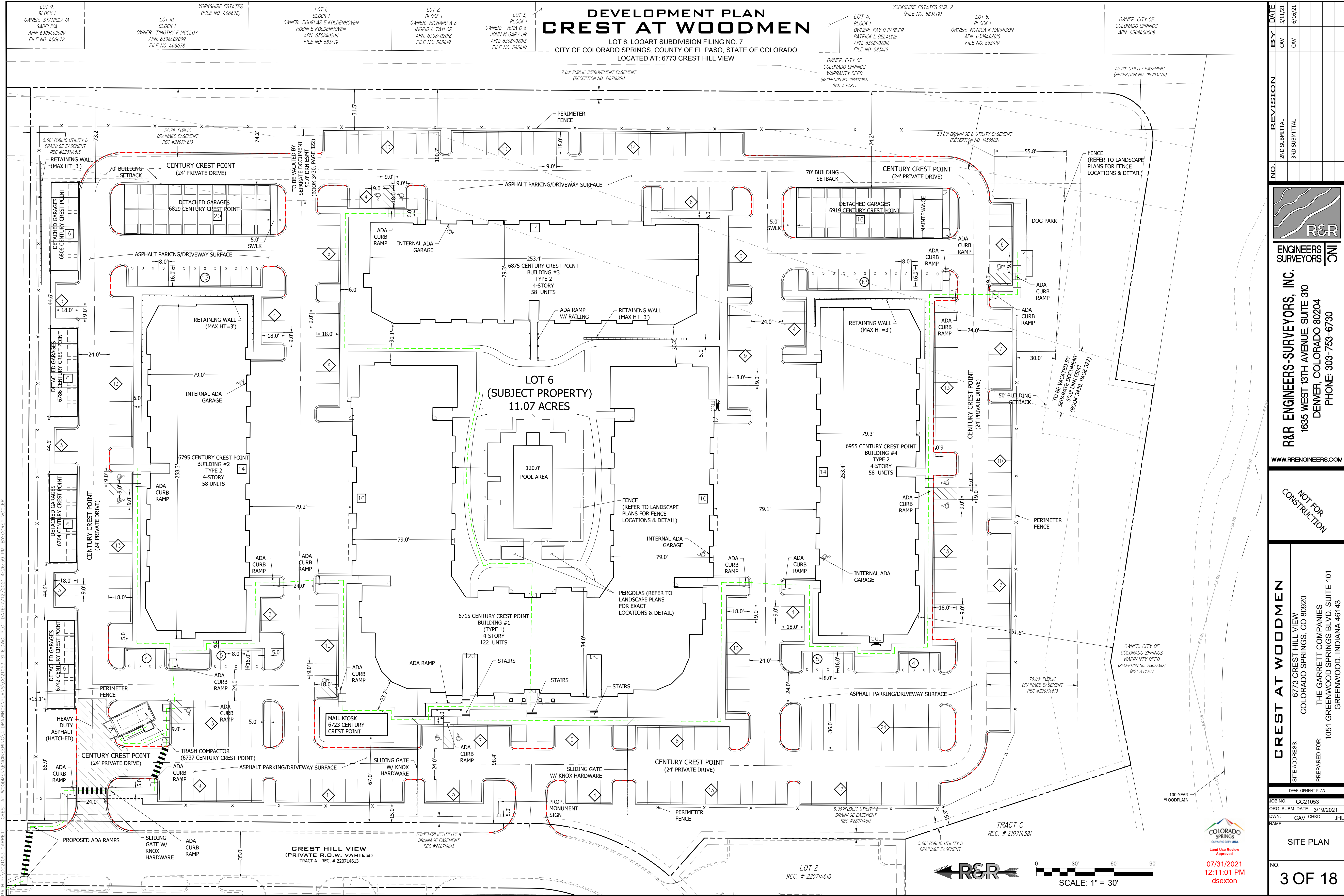


07/31/2021
12:11:00 PM
dsxton

P:\R\16\GC21053 GARRETT - CREST AT WOODMEN\ENGINEERING\DRAWINGS\PLANS\GC21053-SITE.DWG PLOT DATE: 7/12/2021 4:26:42 PM BY: COREY VOGELER

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



PARTIAL VACATION OF LOT 6, LOT 7, LOT 8, LOT 9, LOT 10, LOT 11, LOT 12, LOT 13, LOT 14, LOT 15, LOT 16, LOT 17, LOT 18, LOT 19, LOT 20, LOT 21, LOT 22, LOT 23, LOT 24, LOT 25, LOT 26, LOT 27, LOT 28, LOT 29, LOT 30, LOT 31, LOT 32, LOT 33, LOT 34, LOT 35, LOT 36, LOT 37, LOT 38, LOT 39, LOT 40, LOT 41, LOT 42, LOT 43, LOT 44, LOT 45, LOT 46, LOT 47, LOT 48, LOT 49, LOT 50, LOT 51, LOT 52, LOT 53, LOT 54, LOT 55, LOT 56, LOT 57, LOT 58, LOT 59, LOT 60, LOT 61, LOT 62, LOT 63, LOT 64, LOT 65, LOT 66, LOT 67, LOT 68, LOT 69, LOT 70, LOT 71, LOT 72, LOT 73, LOT 74, LOT 75, LOT 76, LOT 77, LOT 78, LOT 79, LOT 80, LOT 81, LOT 82, LOT 83, LOT 84, LOT 85, LOT 86, LOT 87, LOT 88, LOT 89, LOT 90, LOT 91, LOT 92, LOT 93, LOT 94, LOT 95, LOT 96, LOT 97, LOT 98, LOT 99, LOT 100, LOT 101, LOT 102, LOT 103, LOT 104, LOT 105, LOT 106, LOT 107, LOT 108, LOT 109, LOT 110, LOT 111, LOT 112, LOT 113, LOT 114, LOT 115, LOT 116, LOT 117, LOT 118, LOT 119, LOT 120, LOT 121, LOT 122, LOT 123, LOT 124, LOT 125, LOT 126, LOT 127, LOT 128, LOT 129, LOT 130, LOT 131, LOT 132, LOT 133, LOT 134, LOT 135, LOT 136, LOT 137, LOT 138, LOT 139, LOT 140, LOT 141, LOT 142, LOT 143, LOT 144, LOT 145, LOT 146, LOT 147, LOT 148, LOT 149, LOT 150, LOT 151, LOT 152, LOT 153, LOT 154, LOT 155, LOT 156, LOT 157, LOT 158, LOT 159, LOT 160, LOT 161, LOT 162, LOT 163, LOT 164, LOT 165, LOT 166, LOT 167, LOT 168, LOT 169, LOT 170, LOT 171, LOT 172, LOT 173, LOT 174, LOT 175, LOT 176, LOT 177, LOT 178, LOT 179, LOT 180, LOT 181, LOT 182, LOT 183, LOT 184, LOT 185, LOT 186, LOT 187, LOT 188, LOT 189, LOT 190, LOT 191, LOT 192, LOT 193, LOT 194, LOT 195, LOT 196, LOT 197, LOT 198, LOT 199, LOT 200, LOT 201, LOT 202, LOT 203, LOT 204, LOT 205, LOT 206, LOT 207, LOT 208, LOT 209, LOT 210, LOT 211, LOT 212, LOT 213, LOT 214, LOT 215, LOT 216, LOT 217, LOT 218, LOT 219, LOT 220, LOT 221, LOT 222, LOT 223, LOT 224, LOT 225, LOT 226, LOT 227, LOT 228, LOT 229, LOT 230, LOT 231, LOT 232, LOT 233, LOT 234, LOT 235, LOT 236, LOT 237, LOT 238, LOT 239, LOT 240, LOT 241, LOT 242, LOT 243, LOT 244, LOT 245, LOT 246, LOT 247, LOT 248, LOT 249, LOT 250, LOT 251, LOT 252, LOT 253, LOT 254, LOT 255, LOT 256, LOT 257, LOT 258, LOT 259, LOT 260, LOT 261, LOT 262, LOT 263, LOT 264, LOT 265, LOT 266, LOT 267, LOT 268, LOT 269, LOT 270, LOT 271, LOT 272, LOT 273, LOT 274, LOT 275, LOT 276, LOT 277, LOT 278, LOT 279, LOT 280, LOT 281, LOT 282, LOT 283, LOT 284, LOT 285, LOT 286, LOT 287, LOT 288, LOT 289, LOT 290, LOT 291, LOT 292, LOT 293, LOT 294, LOT 295, LOT 296, LOT 297, LOT 298, LOT 299, LOT 300, LOT 301, LOT 302, LOT 303, LOT 304, LOT 305, LOT 306, LOT 307, LOT 308, LOT 309, LOT 310, LOT 311, LOT 312, LOT 313, LOT 314, LOT 315, LOT 316, LOT 317, LOT 318, LOT 319, LOT 320, LOT 321, LOT 322, LOT 323, LOT 324, LOT 325, LOT 326, LOT 327, LOT 328, LOT 329, LOT 330, LOT 331, LOT 332, LOT 333, LOT 334, LOT 335, LOT 336, LOT 337, LOT 338, LOT 339, LOT 340, LOT 341, LOT 342, LOT 343, LOT 344, LOT 345, LOT 346, LOT 347, LOT 348, LOT 349, LOT 350, LOT 351, LOT 352, LOT 353, LOT 354, LOT 355, LOT 356, LOT 357, LOT 358, LOT 359, LOT 360, LOT 361, LOT 362, LOT 363, LOT 364, LOT 365, LOT 366, LOT 367, LOT 368, LOT 369, LOT 370, LOT 371, LOT 372, LOT 373, LOT 374, LOT 375, LOT 376, LOT 377, LOT 378, LOT 379, LOT 380, LOT 381, LOT 382, LOT 383, LOT 384, LOT 385, LOT 386, LOT 387, LOT 388, LOT 389, LOT 390, LOT 391, LOT 392, LOT 393, LOT 394, LOT 395, LOT 396, LOT 397, LOT 398, LOT 399, LOT 400, LOT 401, LOT 402, LOT 403, LOT 404, LOT 405, LOT 406, LOT 407, LOT 408, LOT 409, LOT 410, LOT 411, LOT 412, LOT 413, LOT 414, LOT 415, LOT 416, LOT 417, LOT 418, LOT 419, LOT 420, LOT 421, LOT 422, LOT 423, LOT 424, LOT 425, LOT 426, LOT 427, LOT 428, LOT 429, LOT 430, LOT 431, LOT 432, LOT 433, LOT 434, LOT 435, LOT 436, LOT 437, LOT 438, LOT 439, LOT 440, LOT 441, LOT 442, LOT 443, LOT 444, LOT 445, LOT 446, LOT 447, LOT 448, LOT 449, LOT 450, LOT 451, LOT 452, LOT 453, LOT 454, LOT 455, LOT 456, LOT 457, LOT 458, LOT 459, LOT 460, LOT 461, LOT 462, LOT 463, LOT 464, LOT 465, LOT 466, LOT 467, LOT 468, LOT 469, LOT 470, LOT 471, LOT 472, LOT 473, LOT 474, LOT 475, LOT 476, LOT 477, LOT 478, LOT 479, LOT 480, LOT 481, LOT 482, LOT 483, LOT 484, LOT 485, LOT 486, LOT 487, LOT 488, LOT 489, LOT 490, LOT 491, LOT 492, LOT 493, LOT 494, LOT 495, LOT 496, LOT 497, LOT 498, LOT 499, LOT 500, LOT 501, LOT 502, LOT 503, LOT 504, LOT 505, LOT 506, LOT 507, LOT 508, LOT 509, LOT 510, LOT 511, LOT 512, LOT 513, LOT 514, LOT 515, LOT 516, LOT 517, LOT 518, LOT 519, LOT 520, LOT 521, LOT 522, LOT 523, LOT 524, LOT 525, LOT 526, LOT 527, LOT 528, LOT 529, LOT 530, LOT 531, LOT 532, LOT 533, LOT 534, LOT 535, LOT 536, LOT 537, LOT 538, LOT 539, LOT 540, LOT 541, LOT 542, LOT 543, LOT 544, LOT 545, LOT 546, LOT 547, LOT 548, LOT 549, LOT 550, LOT 551, LOT 552, LOT 553, LOT 554, LOT 555, LOT 556, LOT 557, LOT 558, LOT 559, LOT 560, LOT 561, LOT 562, LOT 563, LOT 564, LOT 565, LOT 566, LOT 567, LOT 568, LOT 569, LOT 570, LOT 571, LOT 572, LOT 573, LOT 574, LOT 575, LOT 576, LOT 577, LOT 578, LOT 579, LOT 580, LOT 581, LOT 582, LOT 583, LOT 584, LOT 585, LOT 586, LOT 587, LOT 588, LOT 589, LOT 590, LOT 591, LOT 592, LOT 593, LOT 594, LOT 595, LOT 596, LOT 597, LOT 598, LOT 599, LOT 600, LOT 601, LOT 602, LOT 603, LOT 604, LOT 605, LOT 606, LOT 607, LOT 608, LOT 609, LOT 610, LOT 611, LOT 612, LOT 613, LOT 614, LOT 615, LOT 616, LOT 617, LOT 618, LOT 619, LOT 620, LOT 621, LOT 622, LOT 623, LOT 624, LOT 625, LOT 626, LOT 627, LOT 628, LOT 629, LOT 630, LOT 631, LOT 632, LOT 633, LOT 634, LOT 635, LOT 636, LOT 637, LOT 638, LOT 639, LOT 640, LOT 641, LOT 642, LOT 643, LOT 644, LOT 645, LOT 646, LOT 647, LOT 648, LOT 649, LOT 650, LOT 651, LOT 652, LOT 653, LOT 654, LOT 655, LOT 656, LOT 657, LOT 658, LOT 659, LOT 660, LOT 661, LOT 662, LOT 663, LOT 664, LOT 665, LOT 666, LOT 667, LOT 668, LOT 669, LOT 670, LOT 671, LOT 672, LOT 673, LOT 674, LOT 675, LOT 676, LOT 677, LOT 678, LOT 679, LOT 680, LOT 681, LOT 682, LOT 683, LOT 684, LOT 685, LOT 686, LOT 687, LOT 688, LOT 689, LOT 690, LOT 691, LOT 692, LOT 693, LOT 694, LOT 695, LOT 696, LOT 697, LOT 698, LOT 699, LOT 700, LOT 701, LOT 702, LOT 703, LOT 704, LOT 705, LOT 706, LOT 707, LOT 708, LOT 709, LOT 710, LOT 711, LOT 712, LOT 713, LOT 714, LOT 715, LOT 716, LOT 717, LOT 718, LOT 719, LOT 720, LOT 721, LOT 722, LOT 723, LOT 724, LOT 725, LOT 726, LOT 727, LOT 728, LOT 729, LOT 730, LOT 731, LOT 732, LOT 733, LOT 734, LOT 735, LOT 736, LOT 737, LOT 738, LOT 739, LOT 740, LOT 741, LOT 742, LOT 743, LOT 744, LOT 745, LOT 746, LOT 747, LOT 748, LOT 749, LOT 750, LOT 751, LOT 752, LOT 753, LOT 754, LOT 755, LOT 756, LOT 757, LOT 758, LOT 759, LOT 760, LOT 761, LOT 762, LOT 763, LOT 764, LOT 765, LOT 766, LOT 767, LOT 768, LOT 769, LOT 770, LOT 771, LOT 772, LOT 773, LOT 774, LOT 775, LOT 776, LOT 777, LOT 778, LOT 779, LOT 780, LOT 781, LOT 782, LOT 783, LOT 784, LOT 785, LOT 786, LOT 787, LOT 788, LOT 789, LOT 790, LOT 791, LOT 792, LOT 793, LOT 794, LOT 795, LOT 796, LOT 797, LOT 798, LOT 799, LOT 800, LOT 801, LOT 802, LOT 803, LOT 804, LOT 805, LOT 806, LOT 807, LOT 808, LOT 809, LOT 810, LOT 811, LOT 812, LOT 813, LOT 814, LOT 815, LOT 816, LOT 817, LOT 818, LOT 819, LOT 820, LOT 821, LOT 822, LOT 823, LOT 824, LOT 825, LOT 826, LOT 827, LOT 828, LOT 829, LOT 830, LOT 831, LOT 832, LOT 833, LOT 834, LOT 835, LOT 836, LOT 837, LOT 838, LOT 839, LOT 840, LOT 841, LOT 842, LOT 843, LOT 844, LOT 845, LOT 846, LOT 847, LOT 848, LOT 849, LOT 850, LOT 851, LOT 852, LOT 853, LOT 854, LOT 855, LOT 856, LOT 857, LOT 858, LOT 859, LOT 860, LOT 861, LOT 862, LOT 863, LOT 864, LOT 865, LOT 866, LOT 867, LOT 868, LOT 869, LOT 870, LOT 871, LOT 872, LOT 873, LOT 874, LOT 875, LOT 876, LOT 877, LOT 878, LOT 879, LOT 880, LOT 881, LOT 882, LOT 883, LOT 884, LOT 885, LOT 886, LOT 887, LOT 888, LOT 889, LOT 890, LOT 891, LOT 892, LOT 893, LOT 894, LOT 895, LOT 896, LOT 897, LOT 898, LOT 899, LOT 900, LOT 901, LOT 902, LOT 903, LOT 904, LOT 905, LOT 906, LOT 907, LOT 908, LOT 909, LOT 910, LOT 911, LOT 912, LOT 913, LOT 914, LOT 915, LOT 916, LOT 917, LOT 918, LOT 919, LOT 920, LOT 921, LOT 922, LOT 923, LOT 924, LOT 925, LOT 926, LOT 927, LOT 928, LOT 929, LOT 930, LOT 931, LOT 932, LOT 933, LOT 934, LOT 935, LOT 936, LOT 937, LOT 938, LOT 939, LOT 940, LOT 941, LOT 942, LOT 943, LOT 944, LOT 945, LOT 946, LOT 947, LOT 948, LOT 949, LOT 950, LOT 951, LOT 952, LOT 953, LOT 954, LOT 955, LOT 956, LOT 957, LOT 958, LOT 959, LOT 960, LOT 961, LOT 962, LOT 963, LOT 964, LOT 965, LOT 966, LOT 967, LOT 968, LOT 969, LOT 970, LOT 971, LOT 972, LOT 973, LOT 974, LOT 975, LOT 976, LOT 977, LOT 978, LOT 979, LOT 980, LOT 981, LOT 982, LOT 983, LOT 984, LOT 985, LOT 986, LOT 987, LOT 988, LOT 989, LOT 990, LOT 991, LOT 992, LOT 993, LOT 994, LOT 995, LOT 996, LOT 997, LOT 998, LOT 999, LOT 1000.

NO.	REVISION	DATE
2ND SUBMITTAL		5/11/21
3RD SUBMITTAL		6/16/21

R&R ENGINEERS-SURVEYORS, INC.
 1635 WEST 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR CONSTRUCTION

CREST AT WOODMEN
 6773 CREST HILL VIEW
 COLORADO SPRINGS, CO 80920

PREPARED FOR:
 THE GARRETT COMPANIES
 1051 GREENWOOD SPRINGS BLVD., SUITE 101
 GREENWOOD, INDIANA 46143

DEVELOPMENT PLAN
 JOB NO. GC21053
 ORG. SUBM. DATE 3/19/2021
 DWN. CAV /CHKD. JHL
 NAME

SITE PLAN

NO. **3 OF 18**

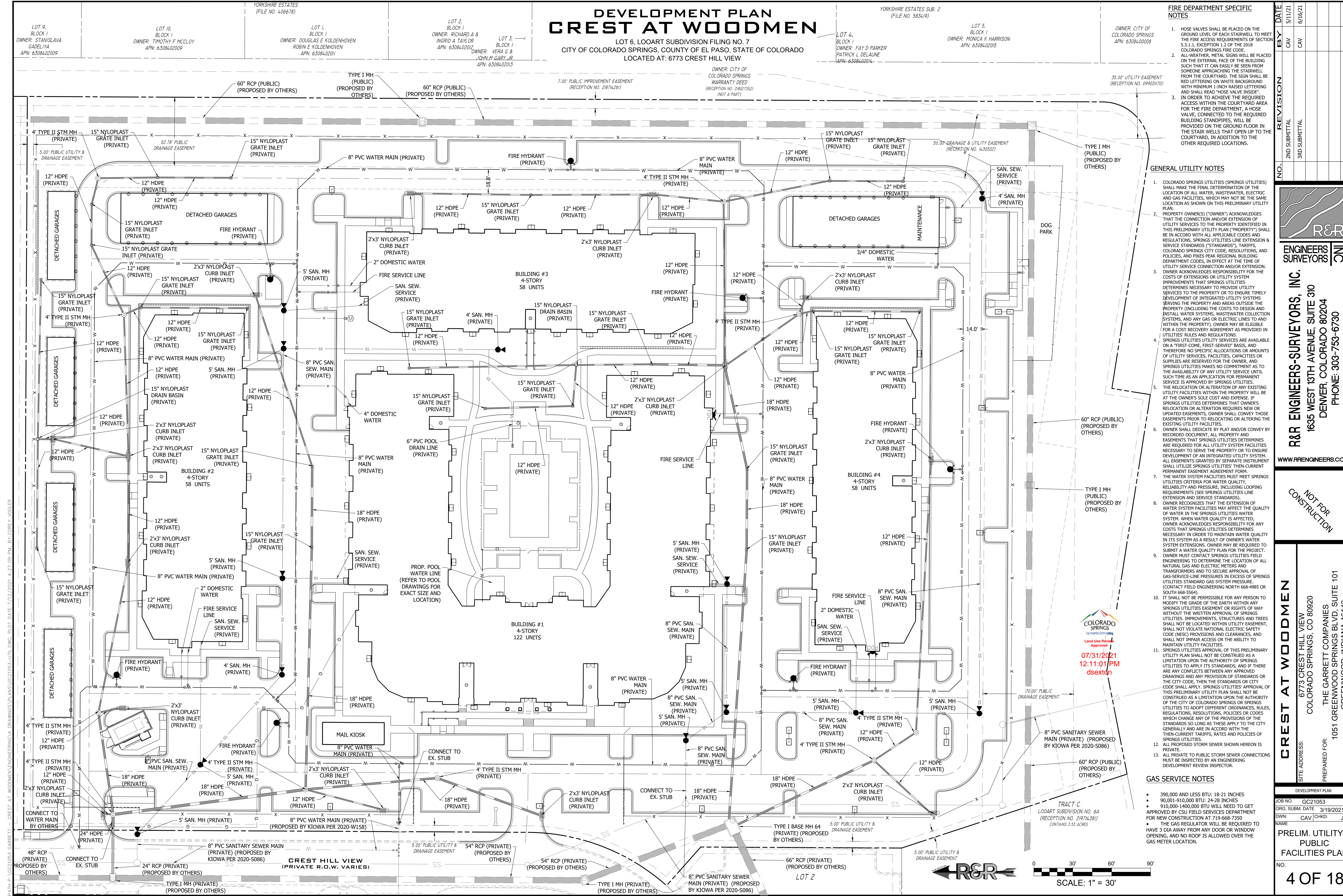
COLORADO SPRINGS
 COMMUNITY DEVELOPMENT
 Land Use Review
 Approved
 07/31/2021
 12:11:01 PM
 dsxton

R&R

SCALE: 1" = 30'

DEVELOPMENT PLAN CREST AT WOODMEN

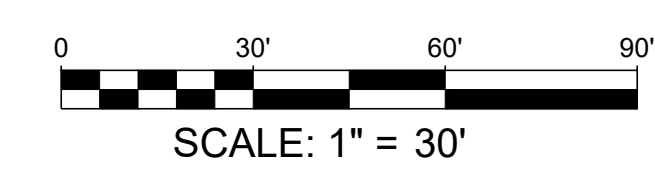
LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



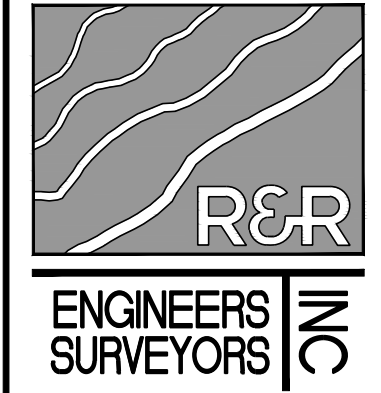
- ### FIRE DEPARTMENT SPECIFIC NOTES
- HOSE VALVES SHALL BE PLACED ON THE GROUND LEVEL OF EACH STARWELL TO MEET THE ACCESS REQUIREMENTS OF SECTION 5.3.1.1, EXCEPTION 1.2 OF THE 2018 COLORADO SPRINGS FIRE CODE.
 - ALL-WEATHER, METAL SIGNS WILL BE PLACED ON THE EXTERNAL FACE OF THE BUILDING SUCH THAT IT CAN EASILY BE SEEN FROM SOMEONE APPROACHING THE STARWELL FROM THE COURTYARD. THE SIGN SHALL BE RED LETTERING ON WHITE BACKGROUND WITH MINIMUM 1-INCH RAISED LETTERING AND SHALL READ "HOSE VALVE INSIDE".
 - IN ORDER TO ACHIEVE THE REQUIRED ACCESS WITHIN THE COURTYARD AREA FOR THE FIRE DEPARTMENT, A HOSE VALVE, CONNECTED TO THE REQUIRED BUILDING STANDPIPES, WILL BE PROVIDED ON THE GROUND FLOOR IN THE STAIR WELLS THAT OPEN UP TO THE COURTYARD, IN ADDITION TO THE OTHER REQUIRED LOCATIONS.

- ### GENERAL UTILITY NOTES
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER AGREES TO SIGN FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES WATER EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.
 - ALL PROPOSED STORM SEWER SHOWN HEREON IS PRIVATE.
 - ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

- ### GAS SERVICE NOTES
- 390,000 AND LESS BTU: 18-21 INCHES
 - 90,001-910,000 BTU: 24-28 INCHES
 - 910,000-1,400,000 BTU WILL NEED TO GET APPROVED BY CSU FIELD SERVICES DEPARTMENT FOR NEW CONSTRUCTION AT 719-668-7350
 - THE GAS REGULATOR WILL BE REQUIRED TO HAVE 3 DIA AWAY FROM ANY DOOR OR WINDOW OPENING, AND NO ROOF IS ALLOWED OVER THE GAS METER LOCATION.



NO.	REVISION	DATE
1	2ND SUBMITTAL	5/11/21
2	3RD SUBMITTAL	6/16/21



R&R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR CONSTRUCTION

CREST AT WOODMEN
6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920

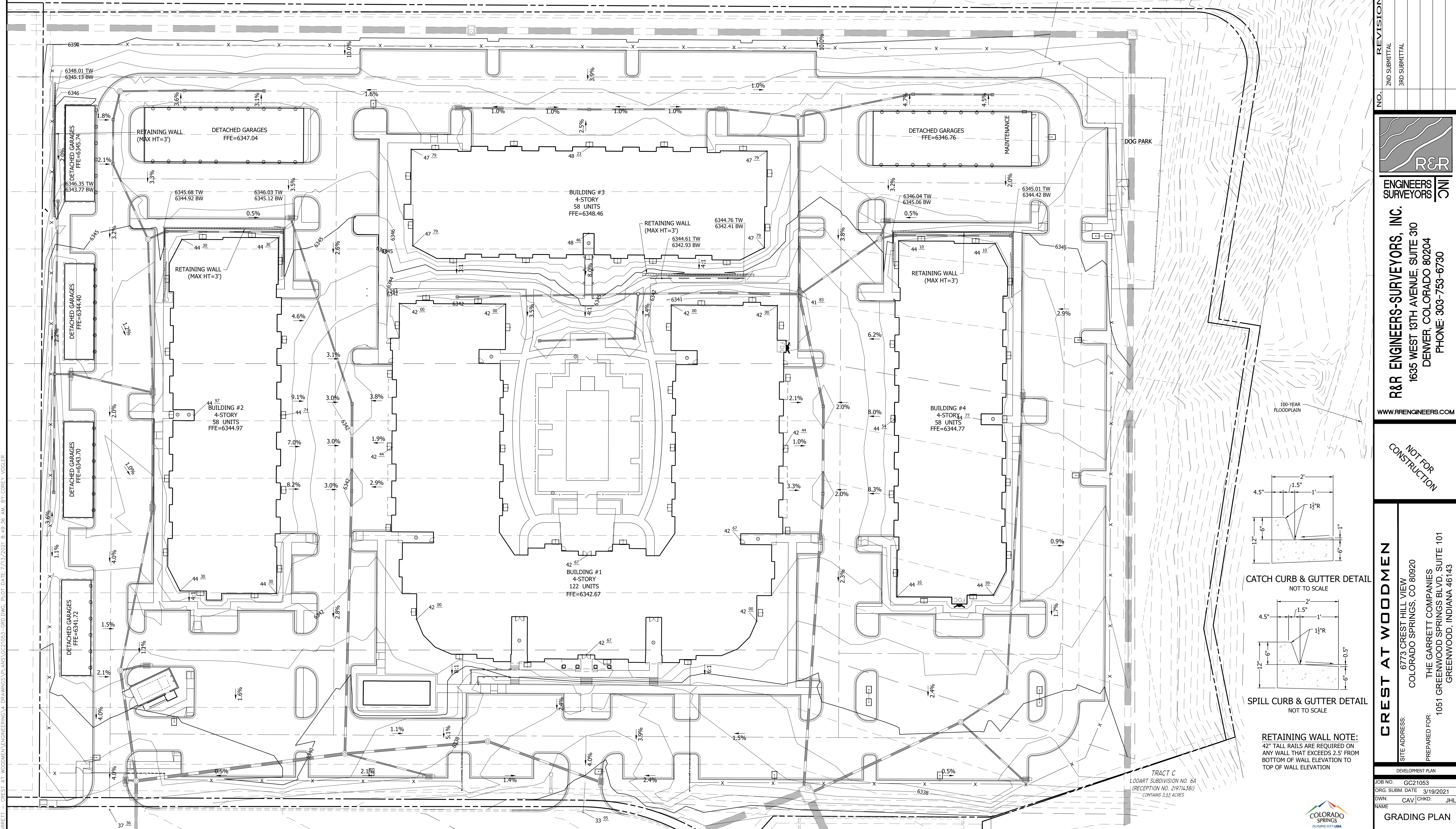
SITE ADDRESS:

PREPARED FOR:
THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

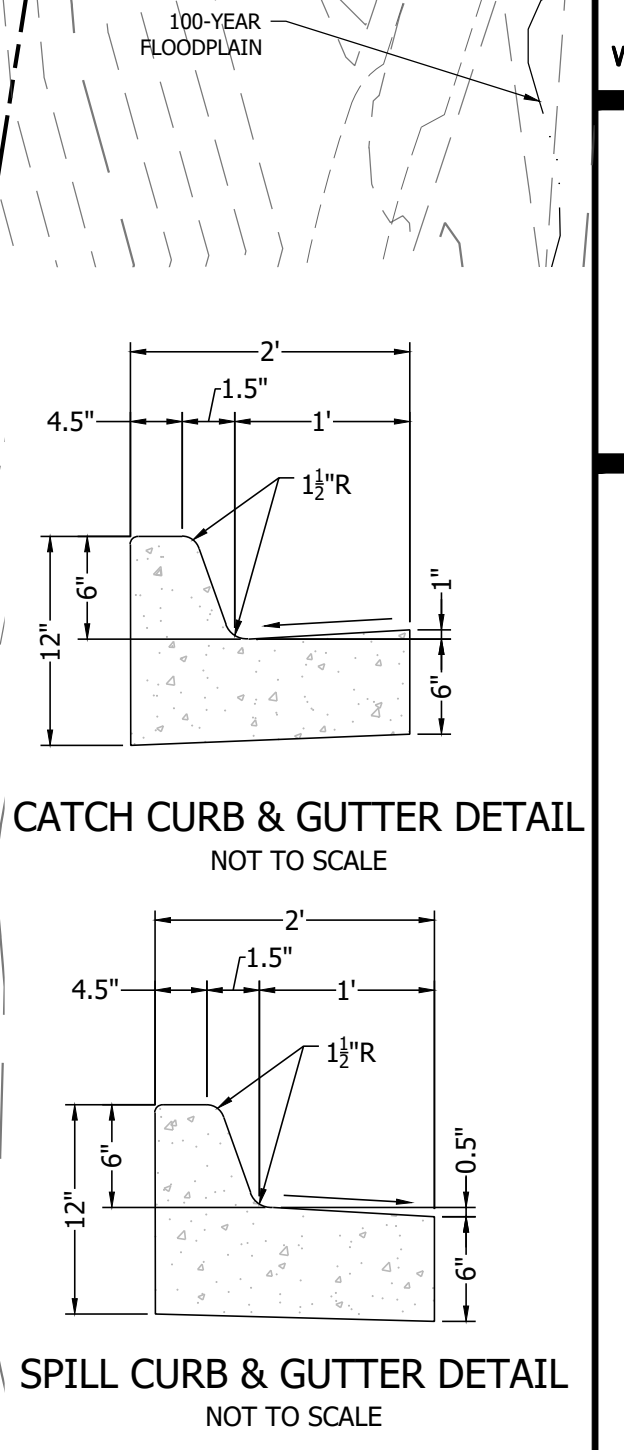
DEVELOPMENT PLAN	
JOB NO.	GC21053
ORG. SUBM. DATE	3/19/2021
DWN.	CAV /CHKD: JHL
NAME	
PRELIM. UTILITY & PUBLIC FACILITIES PLAN	
NO.	4 OF 18

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



PLAN: P. 021053 GARRETT - CREST AT WOODMEN/ENGINEERING V. DRAWINGS/PLANS/021053 - GRD.DWG. PLOT DATE: 7/13/2021 8:49:35 AM BY: COREY VOGELER

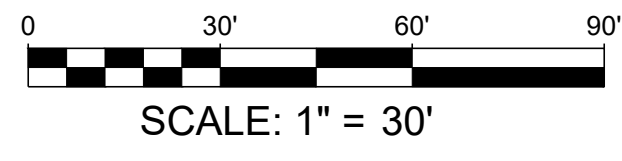


RETAINING WALL NOTE:
42" TALL RAILS ARE REQUIRED ON ANY WALL THAT EXCEEDS 2.5' FROM BOTTOM OF WALL ELEVATION TO TOP OF WALL ELEVATION

TRACT C
LOOART SUBDIVISION NO. 6A
(RECEPTION NO. 21974381)
CONTAINS 3.53 ACRES

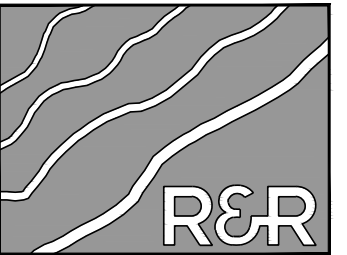
CREST HILL VIEW
(PRIVATE R.O.W. VARIES)

LOT 2



07/31/2021
12:11:01 PM
dsxton

NO.	REVISION	BY	DATE
2ND SUBMITTAL		CAV	5/11/21
3RD SUBMITTAL		CAV	6/16/21



ENGINEERS-SURVEYORS
CON

R & R ENGINEERS-SURVEYORS, INC.
1635 WEST 13TH AVENUE, SUITE 310
DENVER, COLORADO 80204
PHONE: 303-753-6730

WWW.RRENGINEERS.COM

NOT FOR
CONSTRUCTION

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

DEVELOPMENT PLAN
JOB NO. GC21053
ORG. SUBM. DATE 3/19/2021
DWN: CAV /CHKD: JHL
NAME

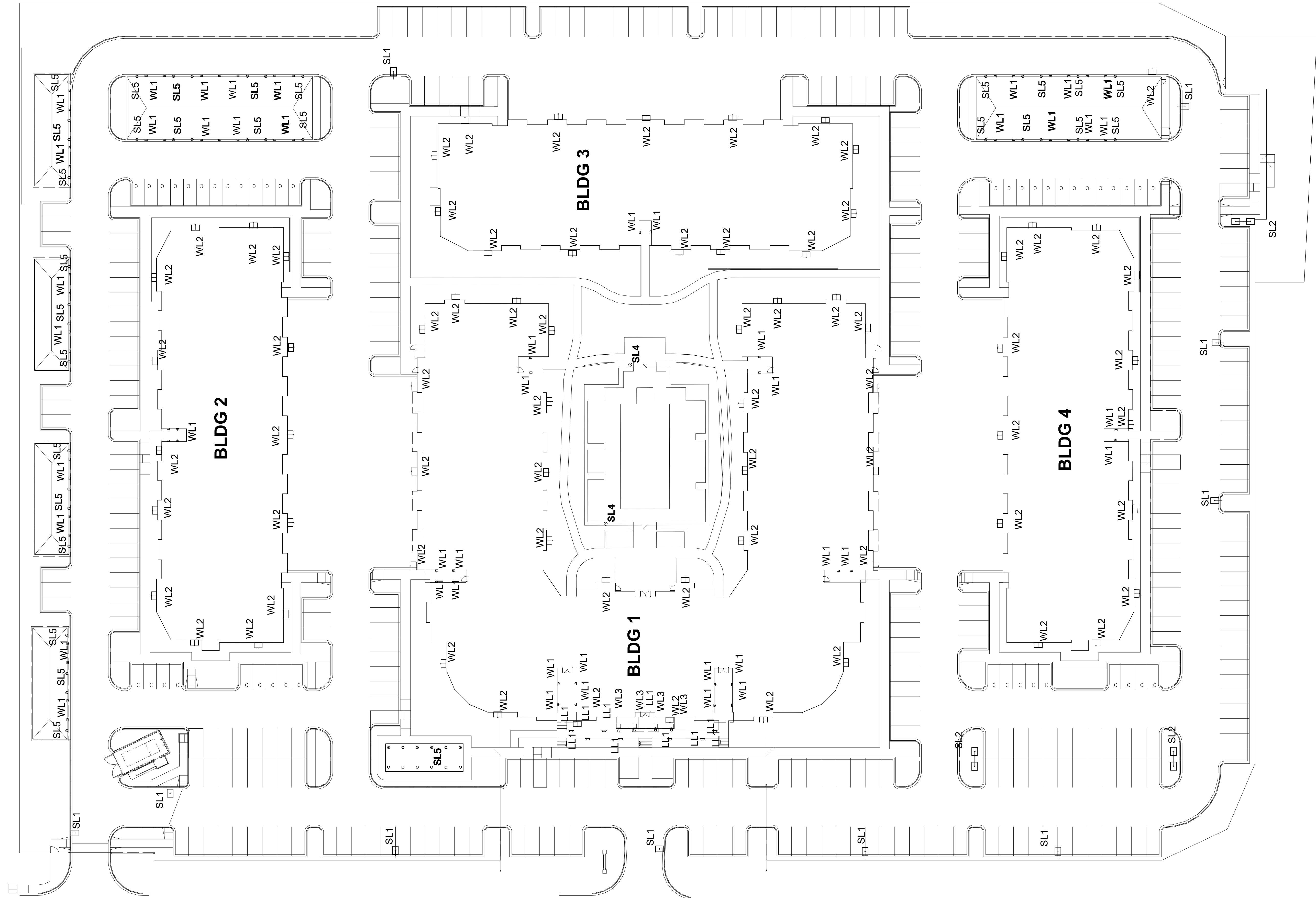
GRADING PLAN

NO.
5 OF 18



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220

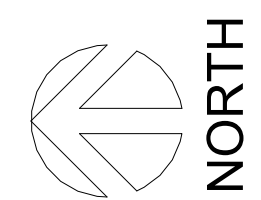
Lighting drawings and design and associated specifications and documents are the property of InSolution LLC. The reproduction, copying or use of these drawings requires written consent. All Rights Reserved.



Number	Qty	Label	Description	Lum. Watts	LED Lumens	BMV Rating
1	1	SL1	150W, 3K, Recessed HxH, 200W, Shop Light	1171	891	80-20-02
2	84	WL1	100W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	100	11000	80-20-02
3	84	WL2	100W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	100	11000	80-20-02
4	1	SL4	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
5	1	WL3	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
6	1	WL4	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
7	1	WL5	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
8	1	SL2	150W, 3K, Recessed HxH, 200W, Shop Light	1171	891	80-20-02
9	1	SL3	150W, 3K, Recessed HxH, 200W, Shop Light	1171	891	80-20-02
10	1	SL4	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
11	1	WL1	100W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	100	11000	80-20-02
12	1	WL2	100W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	100	11000	80-20-02
13	1	WL3	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
14	1	WL4	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02
15	1	WL5	200W, 3K, Full Cutoff, 200 Wx140, 1700K, Recess, Curb/Street	200	15000	80-20-02

- Lighting shall be by InSolution Products and furnished to Garrett Companies. E.C. shall receive and store lighting on site or as directed.
- Coordinate Building Mounted Lighting SL5, WL2 with all trades and coordinate with owner.
- All Lighting Shall be LED, and be Energy Star Listed or Designlights Consortium Certified.
- Confirm Exterior Lighting Finishes and LED Kelvin Temperature with Owner.
- Light Fixtures SL1, SL2 & WL2, SL5 are Cut-Off.
- Underwater Lighting is not in this calculation.

AR PUD 21-00163
AR R 21-00164



07/31/2021
12:11:01 PM
dsexton

Date	Comments
6/05/2021	Added Review Area

Revisions

Drawn By: jrago
Checked By: jrago
Date: 6/15/2021

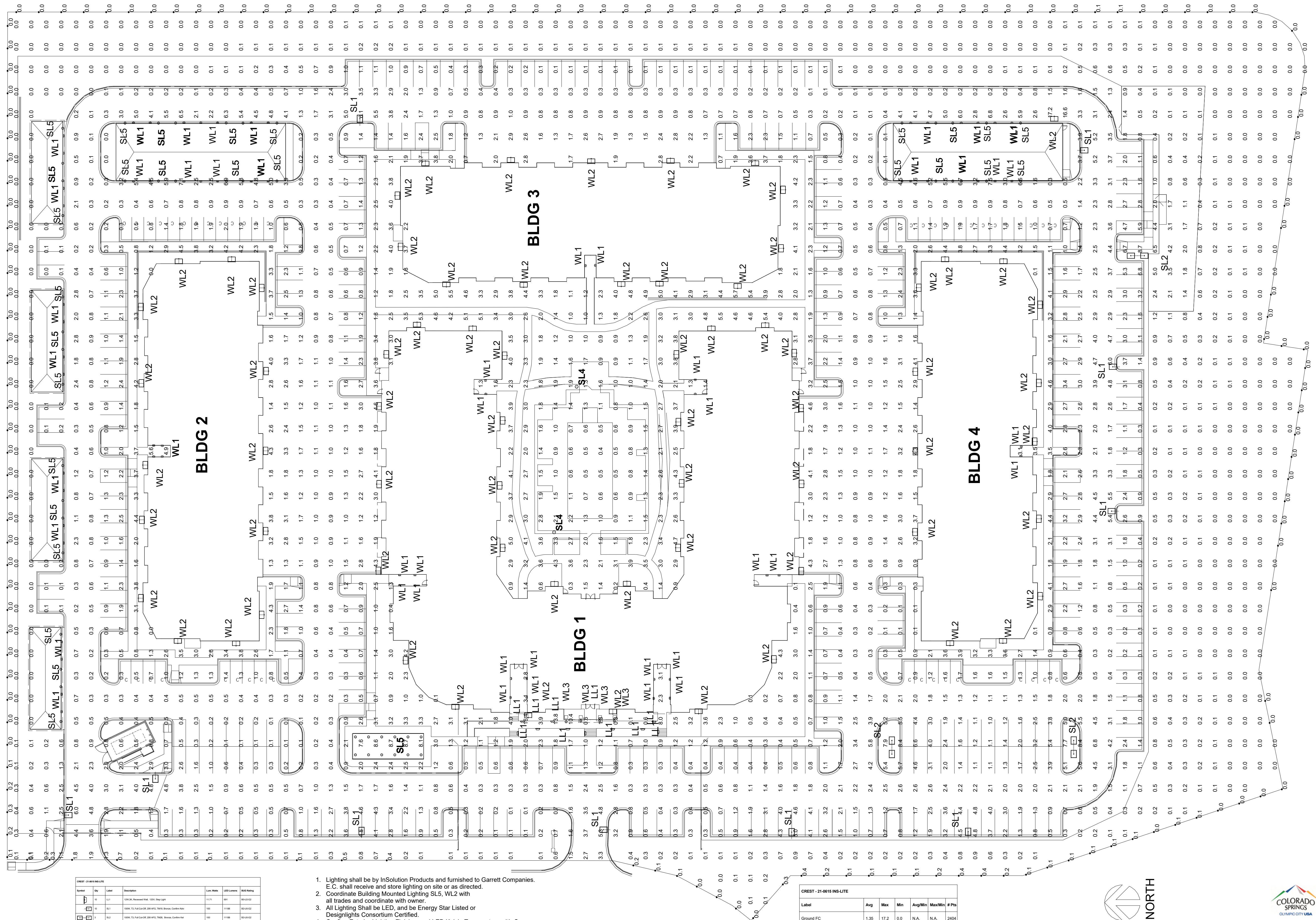
Scale: 1in = 30ft

CREST at WOODMEN
SITE LIGHTING PLAN



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220

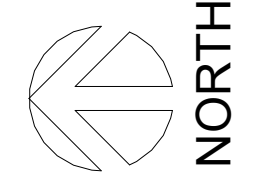
Lighting drawings and design and associated specifications and documents are the property of InSolution LLC. The reproduction, copying or use of these drawings requires written consent. All Rights Reserved.



Symbol	Qty	Label	Description	Lum. Rate	LED Lumens	Beam Rating
SL1	1	SL1	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
SL2	1	SL2	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
SL3	1	SL3	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
SL4	1	SL4	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
SL5	1	SL5	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
WL1	1	WL1	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
WL2	1	WL2	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
WL3	1	WL3	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
WL4	1	WL4	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm
WL5	1	WL5	100W, 100lm, 100lm, 100lm, 100lm	1171	1171	100lm

- Lighting shall be by InSolution Products and furnished to Garrett Companies.
- F.C. shall receive and store lighting on site or as directed.
- Coordinate Building Mounted Lighting SL5, WL2 with all trades and coordinate with owner.
- All Lighting Shall be LED, and be Energy Star Listed or Designlights Consortium Certified.
- Confirm Exterior Lighting Finishes and LED Kelvin Temperature with Owner.
- Light Fixtures SL1, SL2 & WL2, SL5 are Cut-Off.
- Underwater Lighting is not in this calculation.

Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts
Ground FC	1.35	17.2	0.0	N.A.	N.A.	2404
PROP Line FC	0.06	1.8	0.0	N.A.	N.A.	157



AR PUD 21-00163
AR R 21-00164



07/31/2021
12:11:01 PM
dsxton

Date	Comments
06/15/2021	Add SL4 in Pool Area.

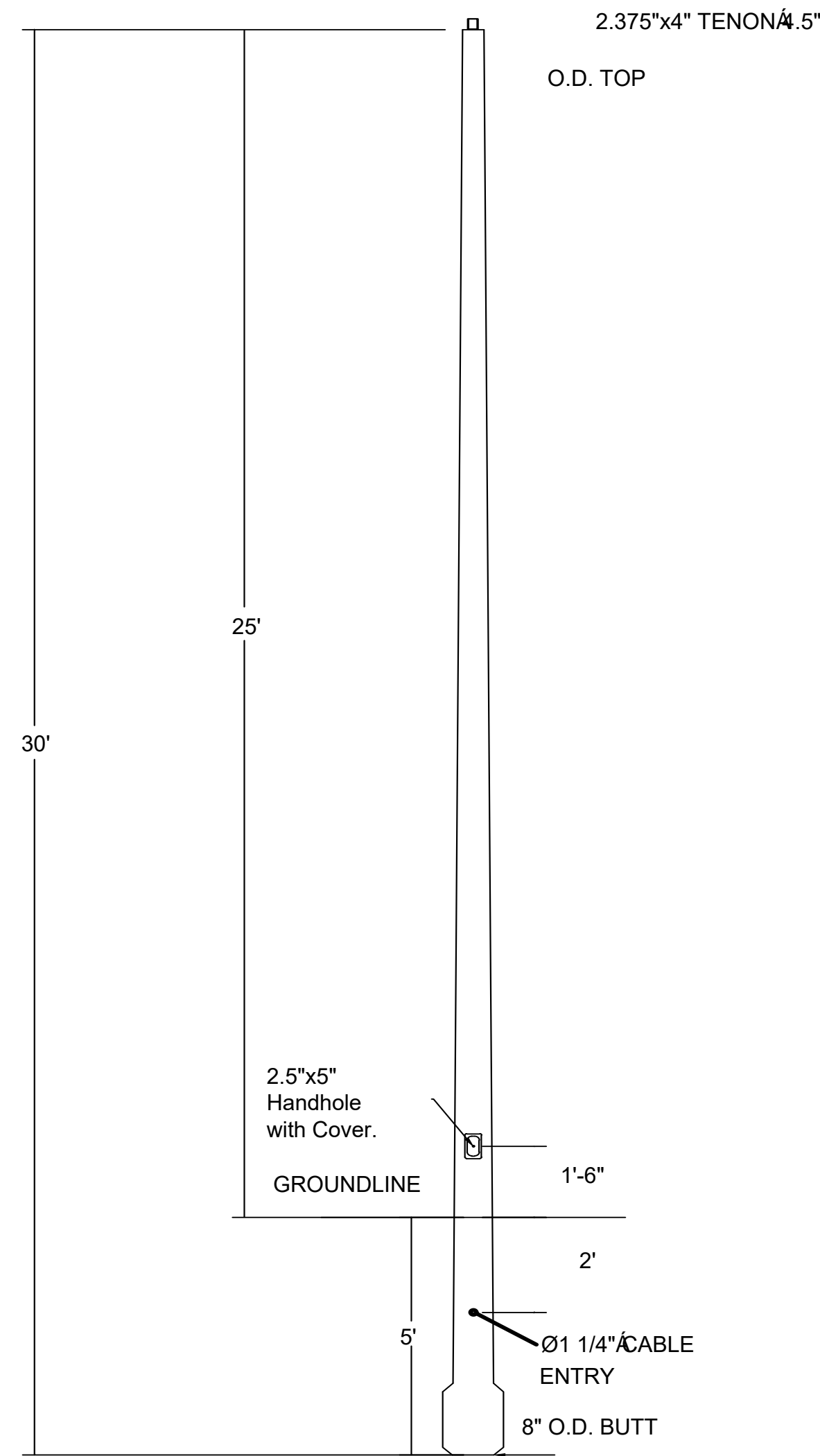
Revisions

Drawn By: jrago
Checked By: jrago
Date: 6/15/2021
Scale: 1in = 30ft

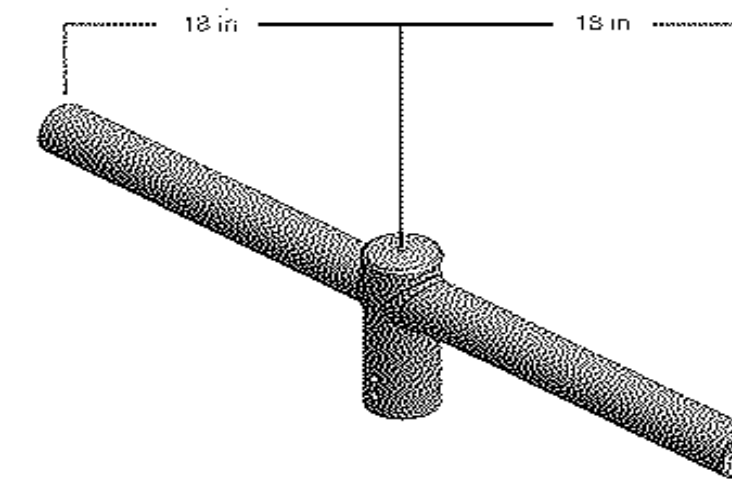
CREST at WOODMEN SITE LIGHTING CALCULATIONS



TYPE SL1 - Single Arm Pole Mounted Area Light
TYPE SL2 - Same as SL1 Except Double Arm



TYPE SL1 - 25ft AFG Direct Burial Pole with Tenon for Single Head on Arm. TYPE SL2 - Same Pole as SL1 with Tenon for Double Arm Mount



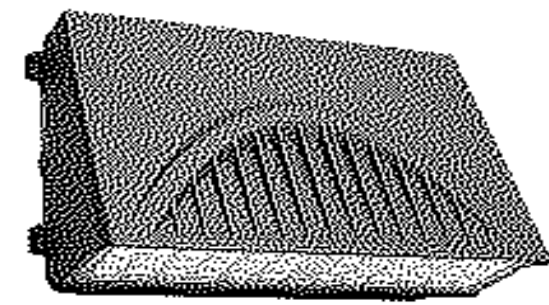
TYPE SL2 - Double Arm Mounting



TYPE SL4- 12ft AFG, Post Top Cut-Off Area Light Painted Bronze



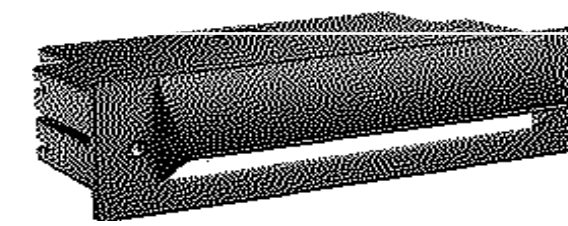
TYPE WL2 - Wall Mounted Area Light. Mounting height to be coordinated with building structure and other trades and owner.



TYPE WL3 - Column mount Building 1. See architect elevations for location.



TYPE LL1 - Recessed in Stairway Ramp walls for path lighting. No LV Transformer.



TYPE SL5 - Surface mounted outdoor LED flatlite over garage doors and building entrances.



InSolution LLC
5157 E 64th St
Indianapolis, IN 46220

Lighting drawings and design and associated specifications and documents are the property of InSolution LLC. The reproduction, copying or use of these drawings requires written consent. All Rights Reserved.

Date	Comments
6/15/2021	ADD SL4

Revisions

Drawn By: jrago	Scale: NTS
Checked By: jrago	
Date: 6/15/2021	

CREST at WOODMEN
Site Lighting Details

AR PUD 21-00163
AR R 21-00164



07/31/2021
12:11:01 PM
dsexton

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW

LOT 9,
BLOCK 1
OWNER: STANISLAVA
GADELIYA
APN: 6308402009

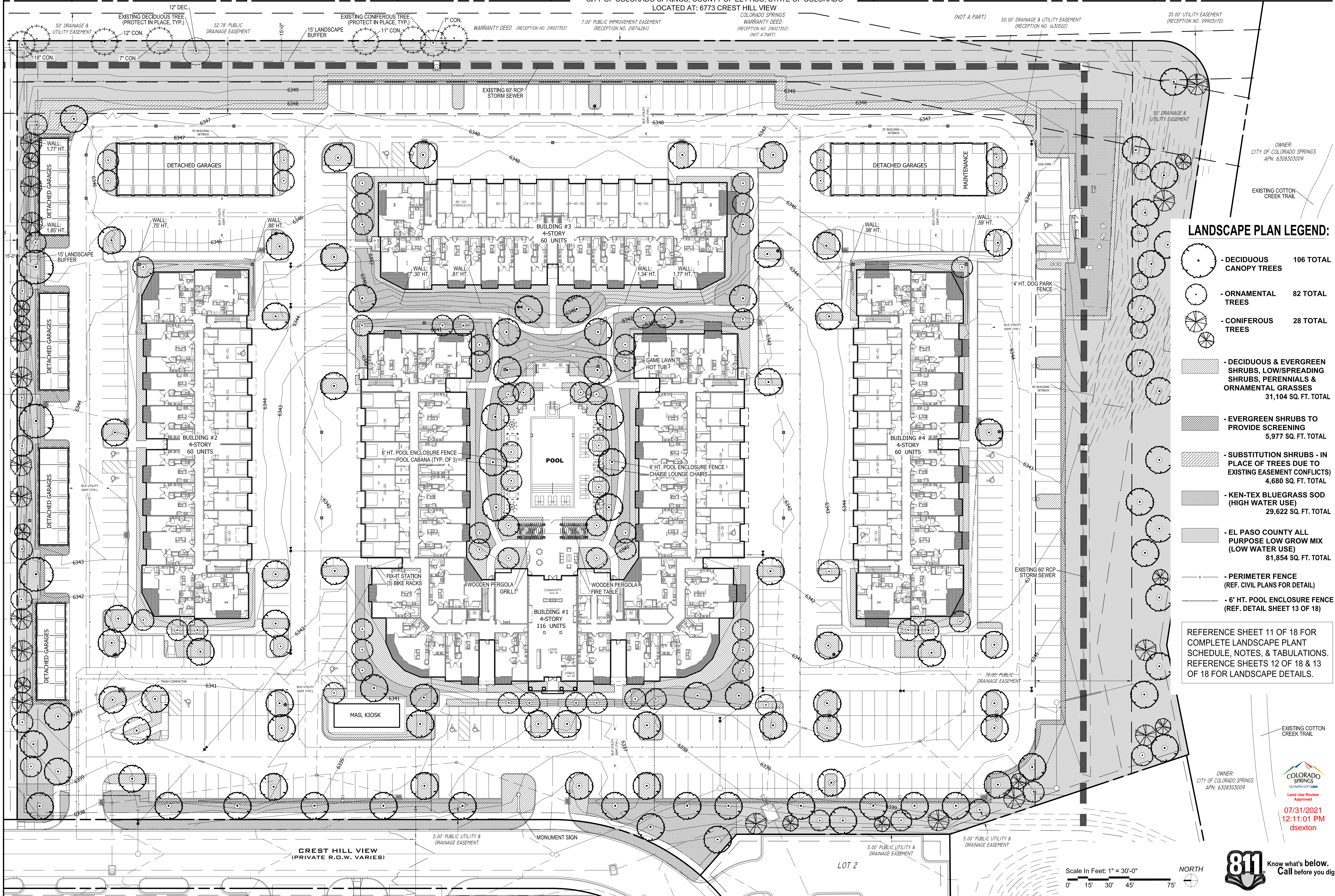
LOT 10,
BLOCK 1
OWNER: TIMOTHY F MCCLLOY
APN: 6308402009

LOT 1,
BLOCK 1
OWNER: DOUGLAS E KOLDENHOVEN
ROBIN E KOLDENHOVEN
APN: 6308402011

LOT 2,
BLOCK 1
OWNER: RICHARD A &
INGRID A TAYLOR
APN: 6308402012

LOT 5,
BLOCK 1
OWNER: MONICA K HARRISON
APN: 6308402015

OWNER: CITY OF
COLORADO SPRINGS
APN: 6308400008



LANDSCAPE PLAN LEGEND:

- DECIDUOUS CANOPY TREES 106 TOTAL
- ORNAMENTAL TREES 82 TOTAL
- CONIFEROUS TREES 28 TOTAL
- DECIDUOUS & EVERGREEN SHRUBS, LOW/SPREADING SHRUBS, PERENNIALS & ORNAMENTAL GRASSES 31,104 SQ. FT. TOTAL
- EVERGREEN SHRUBS TO PROVIDE SCREENING 5,977 SQ. FT. TOTAL
- SUBSTITUTION SHRUBS - IN PLACE OF TREES DUE TO EXISTING EASEMENT CONFLICTS) 4,680 SQ. FT. TOTAL
- KEN-TEX BLUEGRASS SOD (HIGH WATER USE) 29,622 SQ. FT. TOTAL
- EL PASO COUNTY ALL PURPOSE LOW GROW MIX (LOW WATER USE) 81,854 SQ. FT. TOTAL
- PERIMETER FENCE (REF. CIVIL PLANS FOR DETAIL)
- 6' HT. POOL ENCLOSURE FENCE (REF. DETAIL SHEET 13 OF 18)

REFERENCE SHEET 11 OF 18 FOR COMPLETE LANDSCAPE PLANT SCHEDULE, NOTES, & TABULATIONS. REFERENCE SHEETS 12 OF 18 & 13 OF 18 FOR LANDSCAPE DETAILS.

NO.	REVISION	BY	DATE



PRELIMINARY
FOR REVIEW PURPOSES ONLY
AND SHALL NOT BE USED FOR
BIDDING, PERMITTING, OR
CONSTRUCTION.
NICHOLAS ALLEN SMITH
Registered Landscape Architect of the
State of COLORADO
Registration Number: 1436

**NOT FOR
CONSTRUCTION**

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

OWNER:
CITY OF COLORADO SPRINGS
APN: 6308303009

COLORADO SPRINGS
COLORADO
Land Use Review
Approved
07/31/2021
12:11:01 PM
dsexton

Scale In Feet: 1" = 30'-0"
0' 15' 30' 45' 75'

811 Know what's below.
Call before you dig.

PRELIMINARY
LANDSCAPE PLAN

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW

LOT 9,
BLOCK 1
OWNER: STANISLAVA
GADELIYA
APN: 6308402009

LOT 10,
BLOCK 1
OWNER: TIMOTHY F. MCCLOY
APN: 6308402009

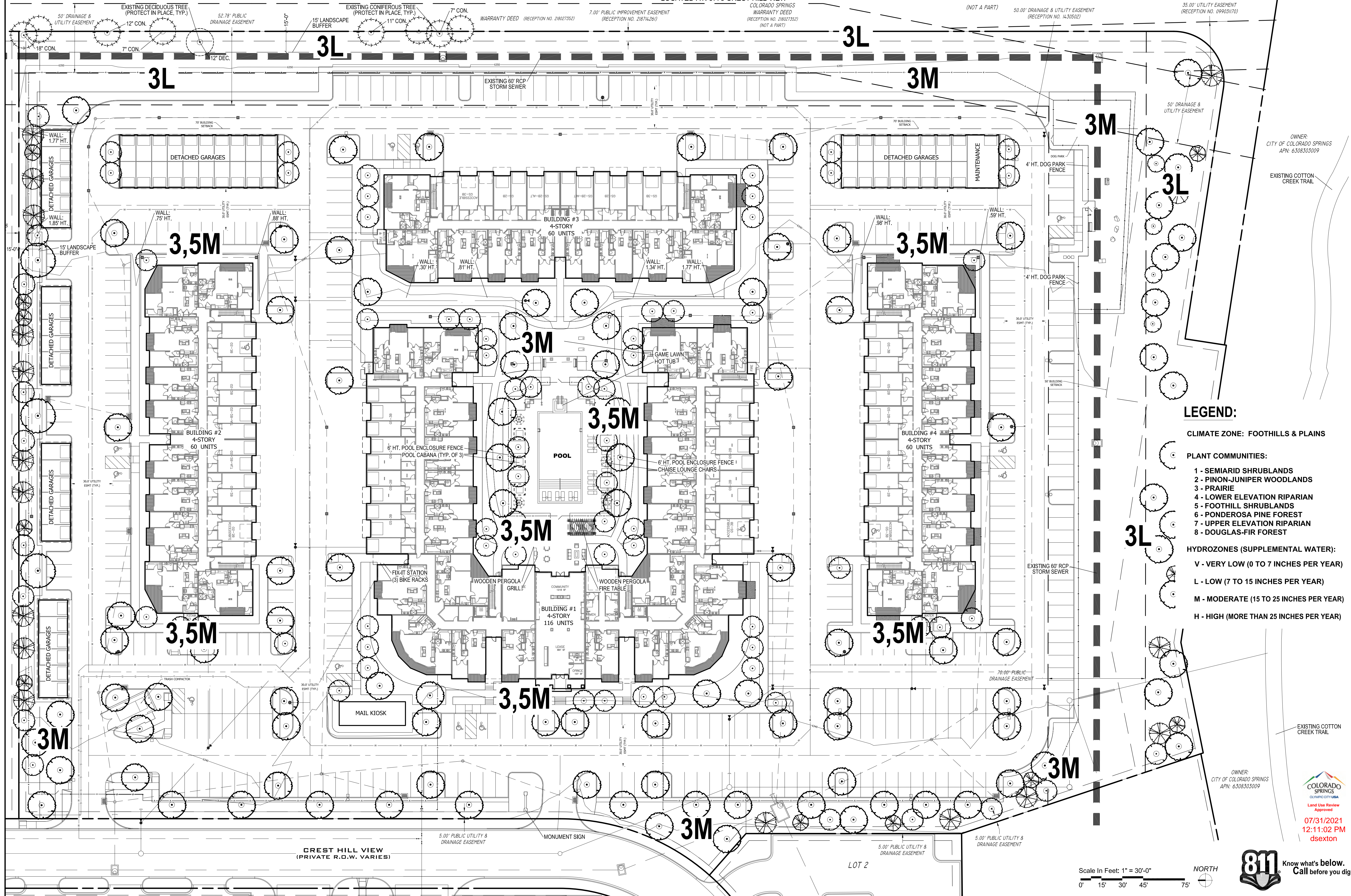
LOT 1,
BLOCK 1
OWNER: DOUGLAS E. KOLDENHOVEN
ROBIN E. KOLDENHOVEN
APN: 6308402011

LOT 2,
BLOCK 1
OWNER: RICHARD A. &
INGRID A. TAYLOR
APN: 6308402012

(FILE NO. 583419)

LOT 5,
BLOCK 1
OWNER: MONICA K. HARRISON
APN: 6308402015

OWNER: CITY OF
COLORADO SPRINGS
APN: 6308400008



LEGEND:

CLIMATE ZONE: FOOTHILLS & PLAINS

PLANT COMMUNITIES:

- 1 - SEMIARID SHRUBLANDS
- 2 - PINON-JUNIPER WOODLANDS
- 3 - PRAIRIE
- 4 - LOWER ELEVATION RIPARIAN
- 5 - FOOTHILL SHRUBLANDS
- 6 - PONDEROSA PINE FOREST
- 7 - UPPER ELEVATION RIPARIAN
- 8 - DOUGLAS-FIR FOREST

HYDROZONES (SUPPLEMENTAL WATER):

- V - VERY LOW (0 TO 7 INCHES PER YEAR)
- L - LOW (7 TO 15 INCHES PER YEAR)
- M - MODERATE (15 TO 25 INCHES PER YEAR)
- H - HIGH (MORE THAN 25 INCHES PER YEAR)

NO.	REVISION	BY	DATE



PRELIMINARY
FOR REVIEW PURPOSES ONLY
AND SHALL NOT BE USED FOR
BIDDING, PERMITTING, OR
CONSTRUCTION.

NICHOLAS ALLEN SMITH
Registered Landscape Architect of the
State of COLORADO
Registration Number: 1436

**NOT FOR
CONSTRUCTION**

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

JOB NO. GC21053
ORG. SUBM. DATE 3/15/2021
DWN: TGC CHKD: TGC
NAME

**SCHEMATIC
LANDSCAPE
DIAGRAM**

NO. **10 OF 18**

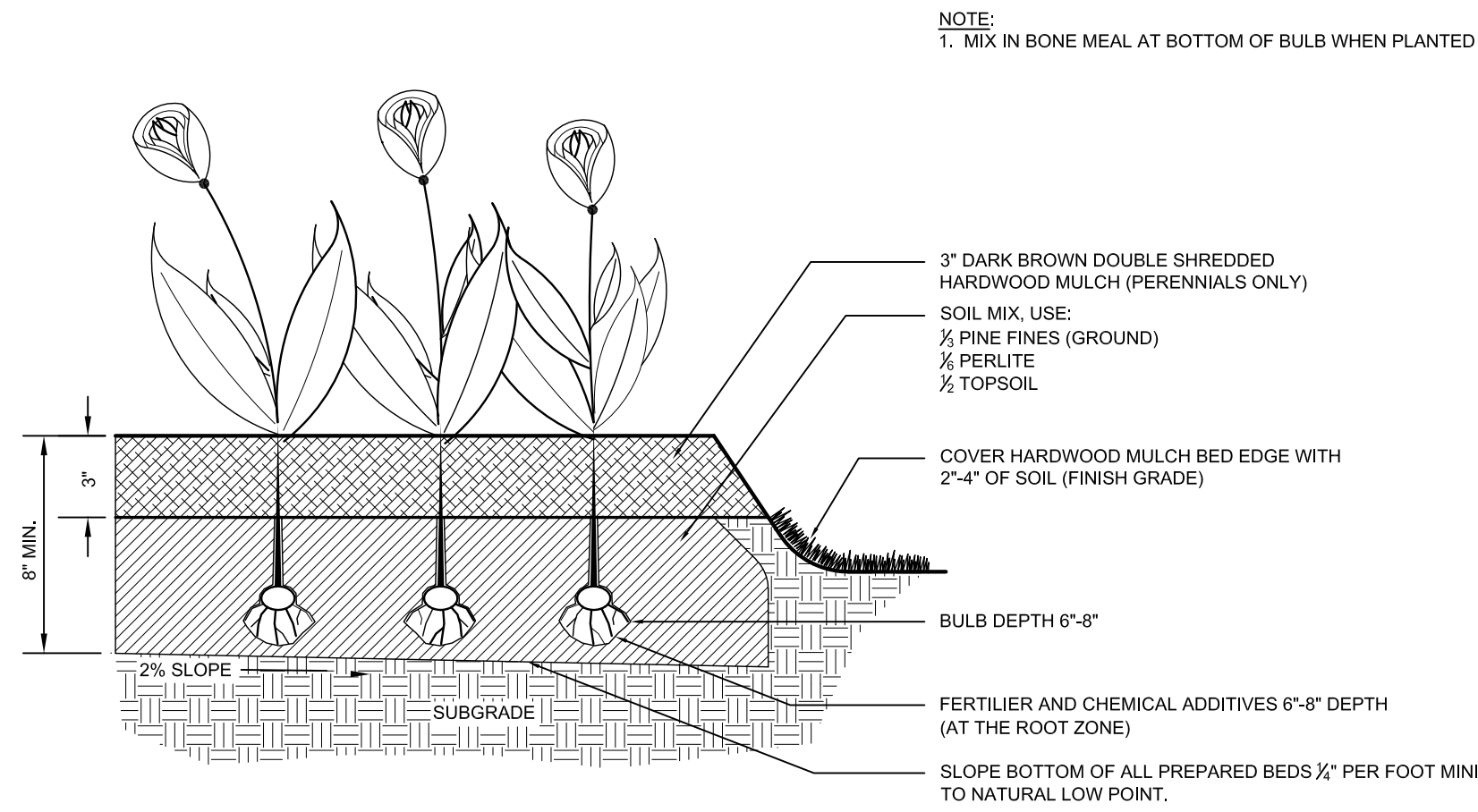
COLORADO SPRINGS
LAND USE REVIEW
Approved
07/31/2021
12:11:02 PM
dsexton



Scale In Feet: 1" = 30'-0"
0' 15' 30' 45' 75'
NORTH

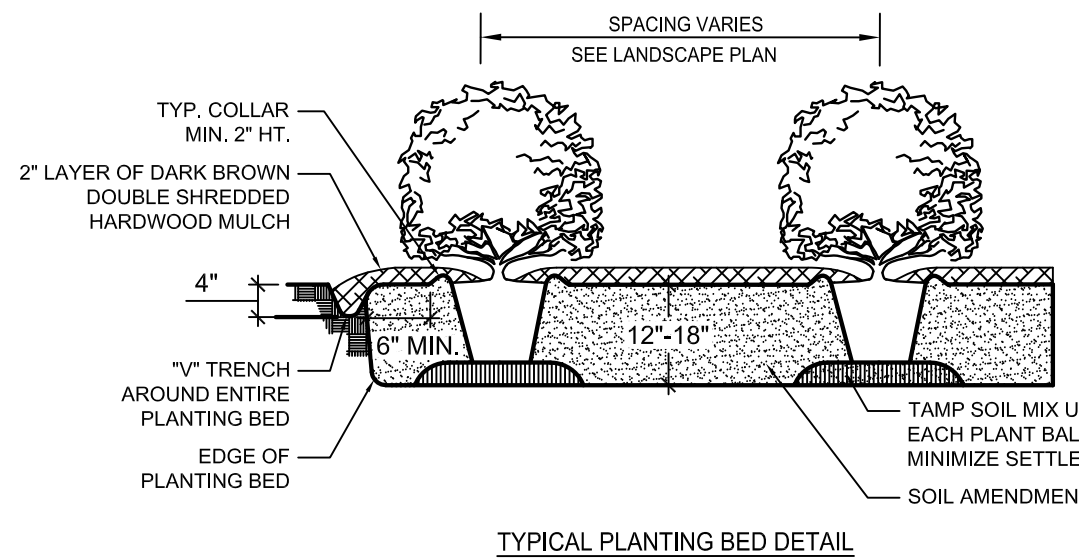
DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW

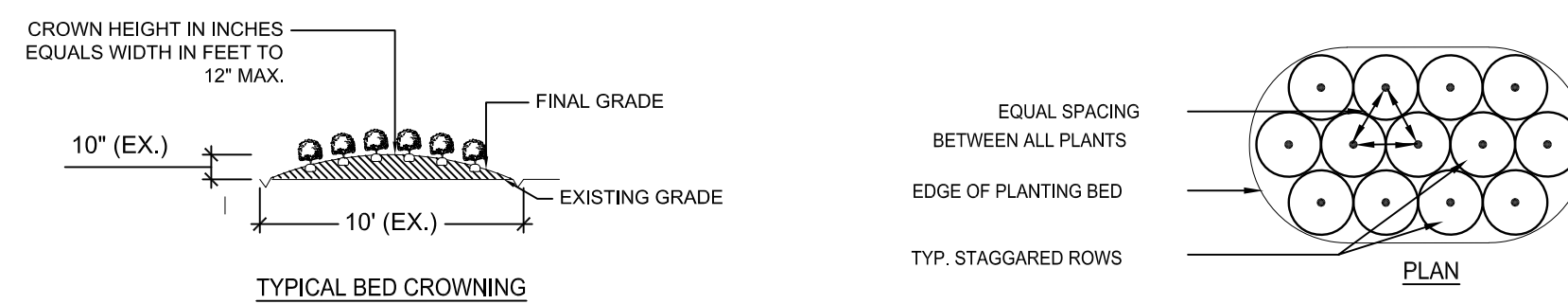


NOTE:
1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED

- NOTES:
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



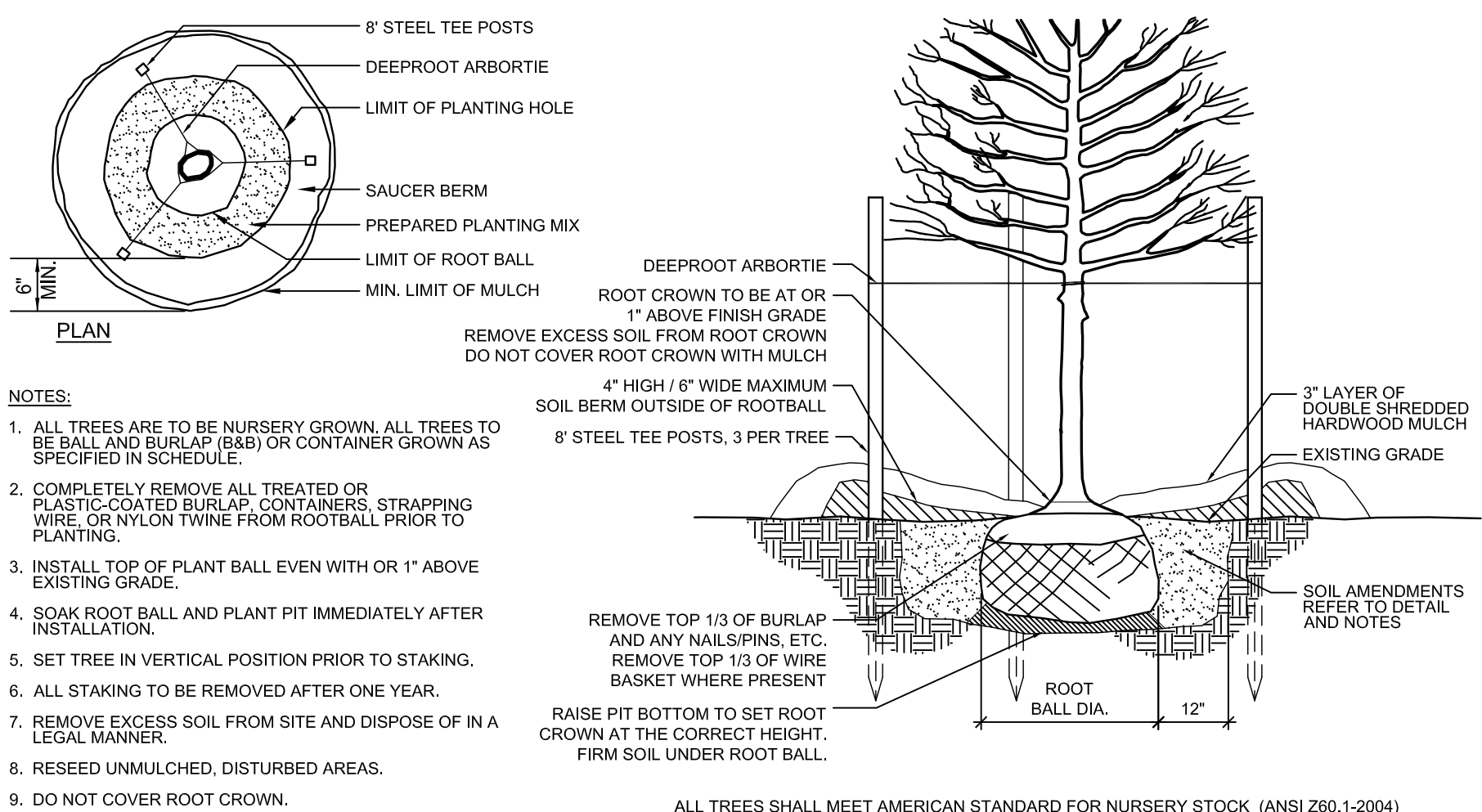
TYPICAL BED CROWNING

1 PLANTING BED FOR ANNUALS AND PERENNIALS

12 OF 18 SECTION NTS

2 SHRUB PLANTING BED

12 OF 18 PLAN AND SECTION NTS



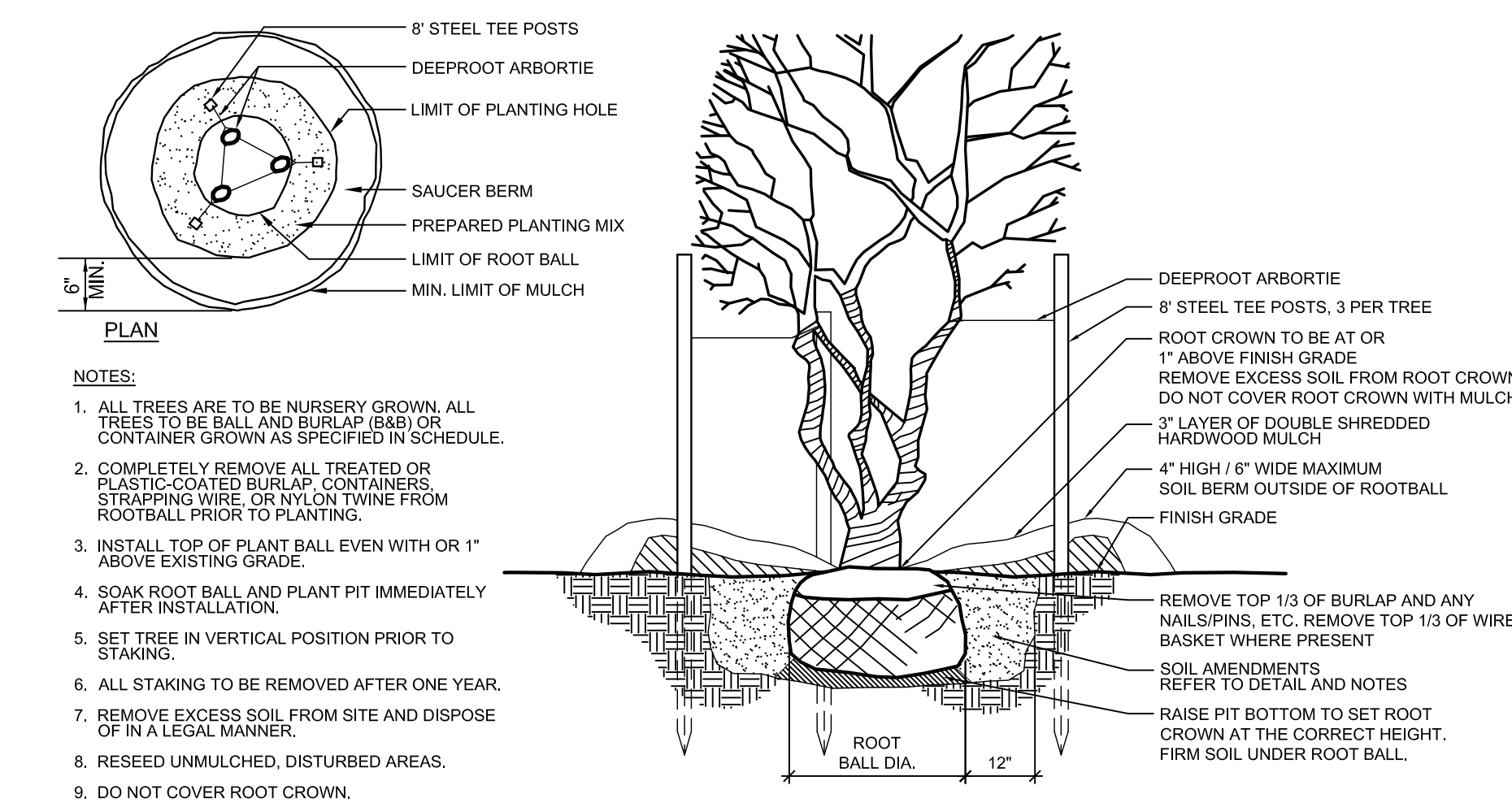
- NOTES:
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)
FOR EXAMPLE: CALIPER HEIGHT (RANGE) MAX. HEIGHT MIN. ROOT BALL DIA. MIN. ROOT BALL DEPTH

2"	12-14"	16"	24"	16"	21"
3"	14-16"	18"	24"	16"	21"

4 TREE PLANTING

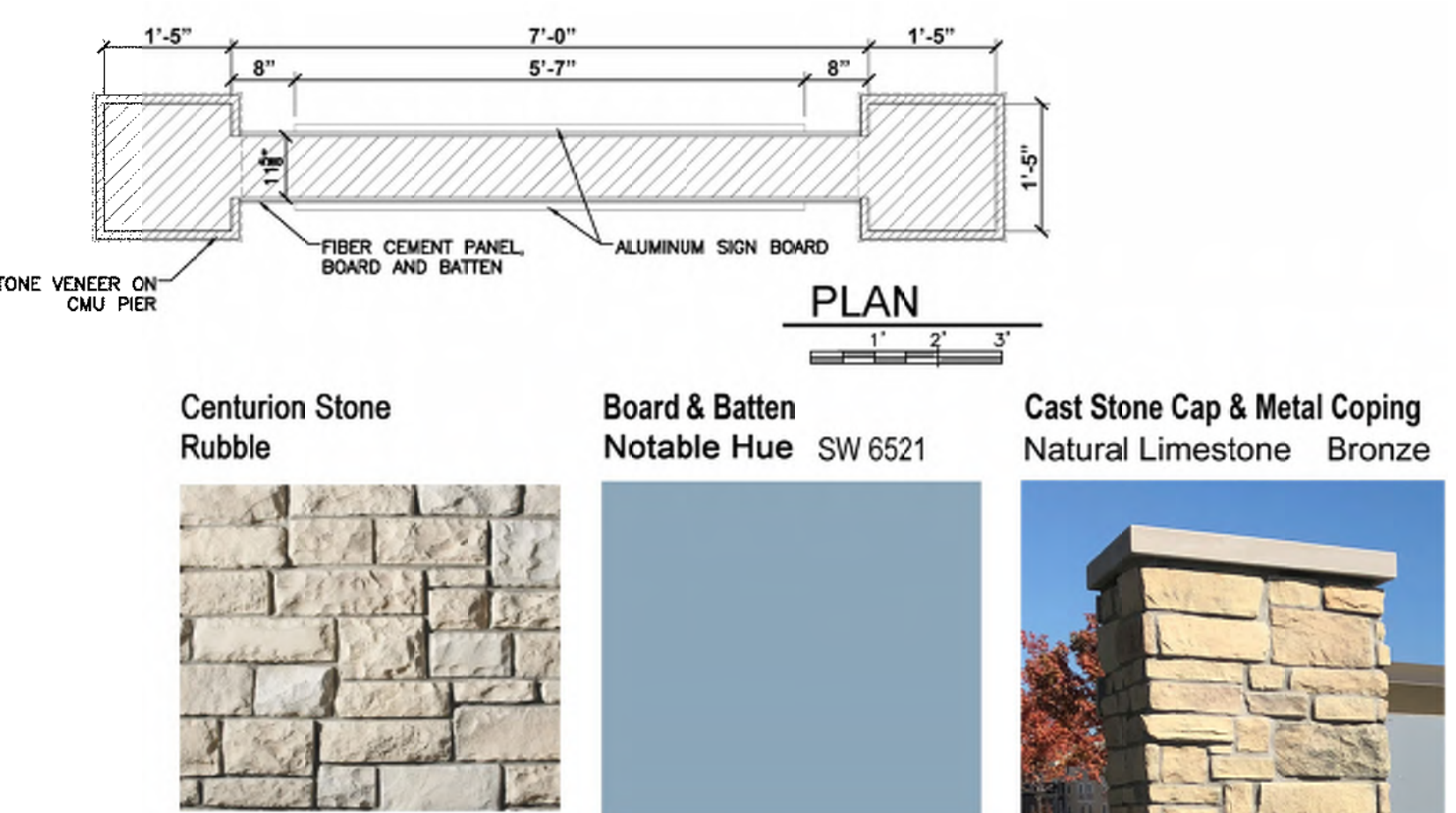
12 OF 18 SECTION NTS



- NOTES:
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
8. RESEED UNMULCHED, DISTURBED AREAS.
9. DO NOT COVER ROOT CROWN.

5 MULTI-TRUNK TREE

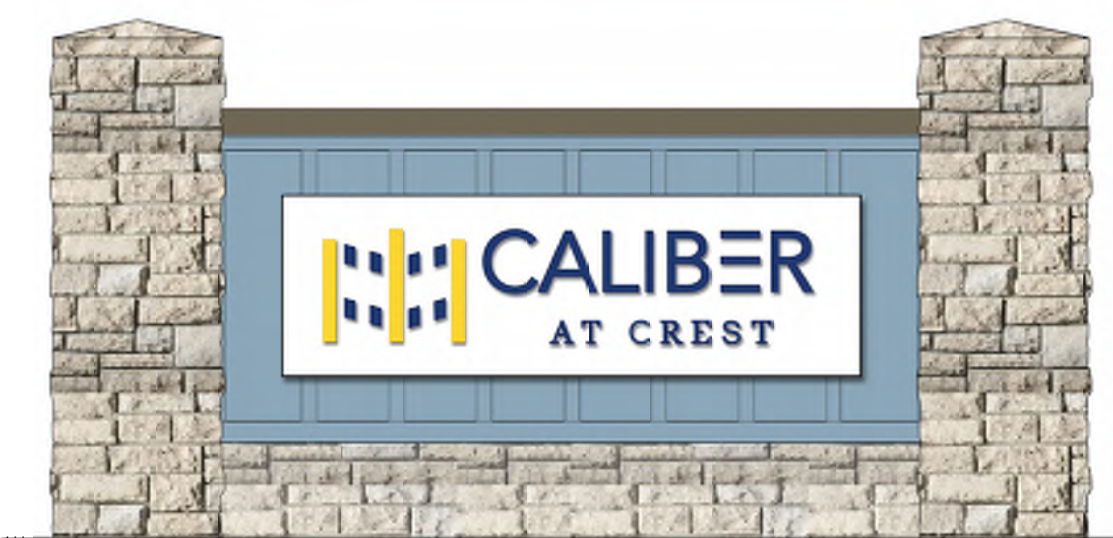
12 OF 18 SECTION AND PLAN NTS



Centurion Stone Rubble

Board & Batten Notable Hue SW 6521

Cast Stone Cap & Metal Coping Natural Limestone Bronze

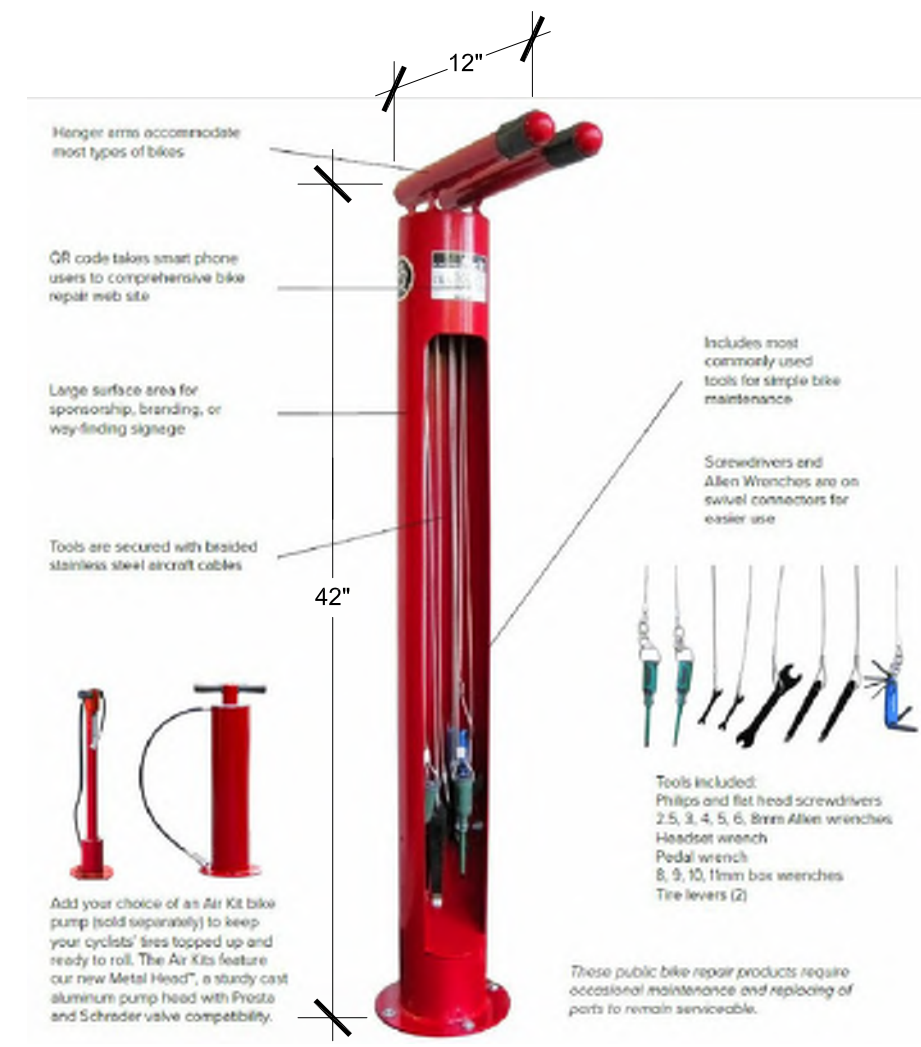


ELEVATION NOTE: ALUMINUM SIGN BOARD ARTWORK SUBJECT TO CHANGE

7 MONUMENT SIGN

12 OF 18 PLAN, SECTIONS & ELEVATION NTS

NOTE: FOR INFORMATIONAL PURPOSES ONLY. SIGN(S) WILL BE REVIEWED AS PART OF A SIGN PERMIT PACKAGE

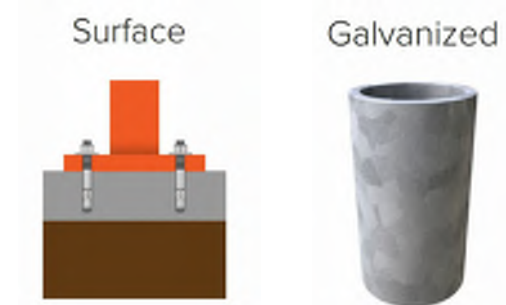


3 FIXIT STATION

12 OF 18 PRODUCT INFORMATION NTS

The Fixit includes all the tools necessary to perform basic bike repairs and maintenance, from changing a flat to adjusting brakes and derailleurs. The tools are securely attached to the stand with stainless steel cables and tamper-proof fasteners, hanging the bike from the hanger arms above the pedals and wheels to spin freely while making adjustments.

Patents D680,914 S1 and US 8,498,890 B2



PRODUCT: DERO FIXIT, BIKE REPAIR STATION
MANUFACTURER: DERO 1-888-337-6729 WWW.DERO.COM
MOUNTING TYPE: SURFACE
FINISH: GALVANIZED
INCLUDED OPTIONS: AIR KIT BIKE PUMP
QUANTITY: 1

- NOTES:
1. FIXIT STATION TO BE SURFACE MOUNTED PER MANUFACTURER'S SPECIFICATIONS.
2. FIXIT STATION FINISH TO BE GALVANIZED.
3. FIXIT STATION SPACING PER MANUFACTURER'S RECOMMENDATIONS.



6 BIKE RACK

12 OF 18 PRODUCT INFORMATION NTS

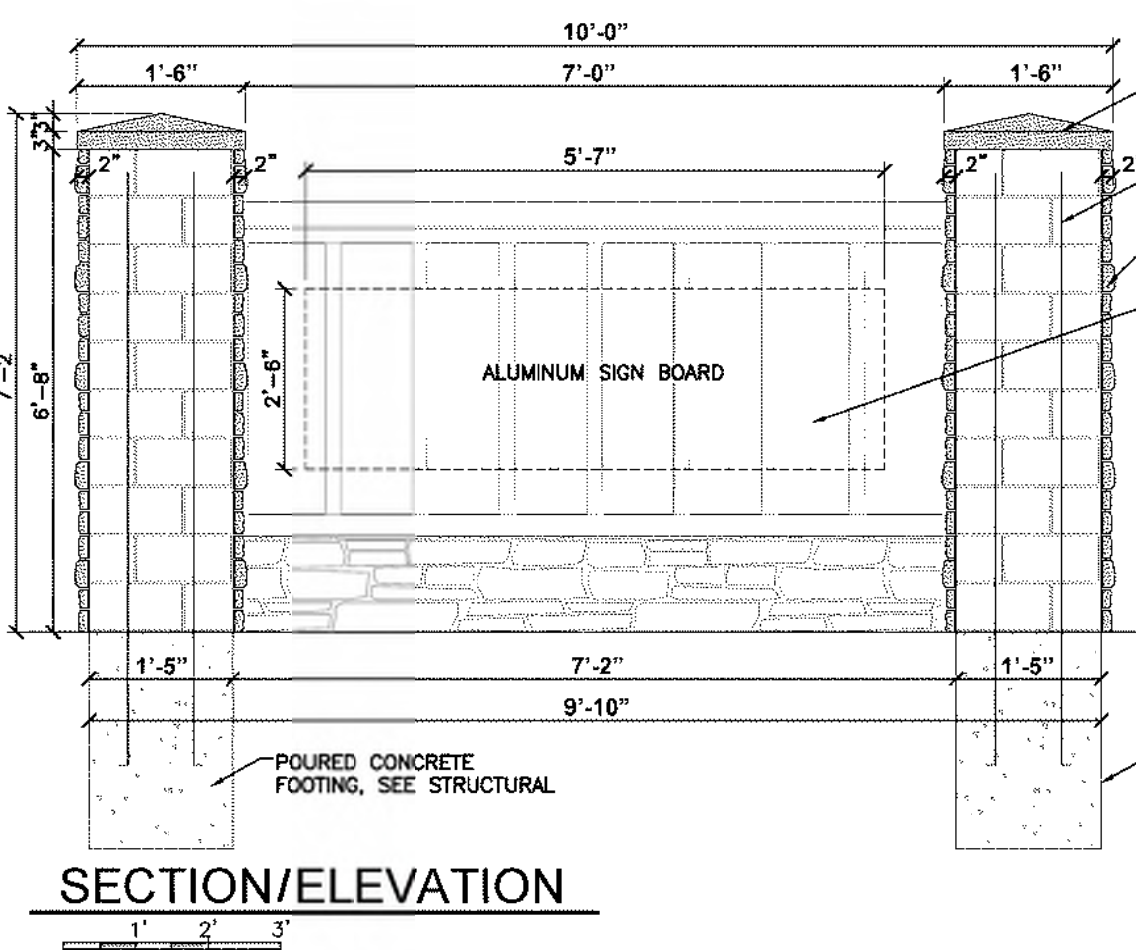
Beefed Up Security

For added security and peace of mind, the Heavy Duty Hoop Rack uses a larger thicker pipe than our standard Hoop Rack. The Heavy Duty Hoop Rack meets APSP guidelines for u-lock compatibility and two points of support for the bike.

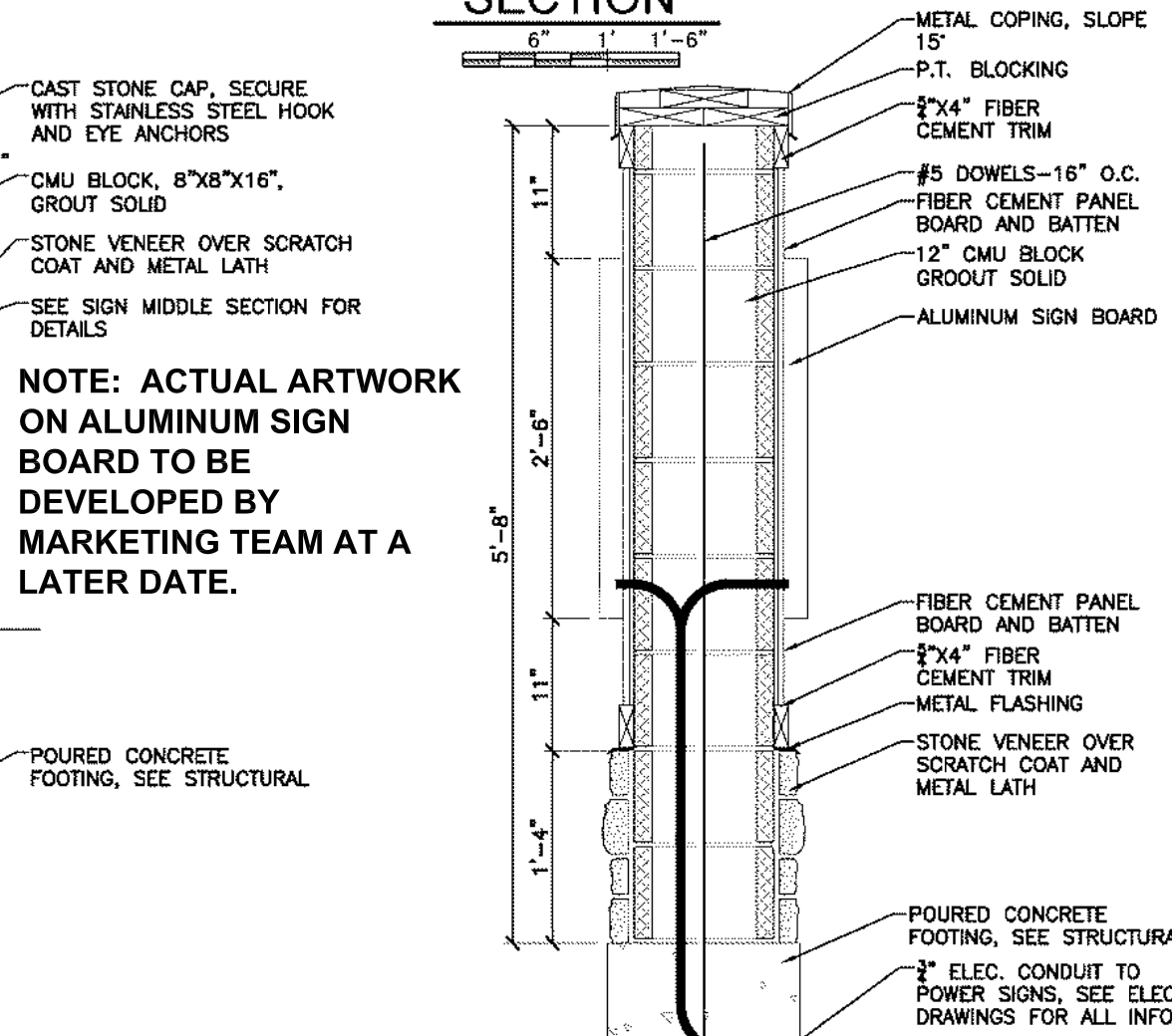


PRODUCT: DERO HOOP RACK HEAVY DUTY BIKE RACK
MANUFACTURER: DERO 1-888-337-6729 WWW.DERO.COM
MOUNTING TYPE: IN-GROUND
FINISH: GALVANIZED
QUANTITY: 3

- NOTES:
1. BIKE RACK TO BE IN-GROUND MOUNTED PER MANUFACTURER'S SPECIFICATIONS.
2. BIKE RACK FINISH TO BE GALVANIZED.
3. BIKE RACK SPACING PER MANUFACTURER'S RECOMMENDATIONS.



SECTION/ELEVATION



NOTE: ACTUAL ARTWORK ON ALUMINUM SIGN BOARD TO BE DEVELOPED BY MARKETING TEAM AT A LATER DATE.

Signage is not approved with this plan. A separate sign permit is required. Contact Development Review at 2880 International Circle Ste 200 for sign plan applications.



Land Use Review Approved
07/31/2021
12:11:02 PM
dsexton



NO.	REVISION	BY	DATE



PRELIMINARY FOR REVIEW PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING, PERMITTING, OR CONSTRUCTION.
NICHOLAS ALLEN SMITH
Registered Landscape Architect of the State of COLORADO
Registration Number: 1436

NOT FOR CONSTRUCTION

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

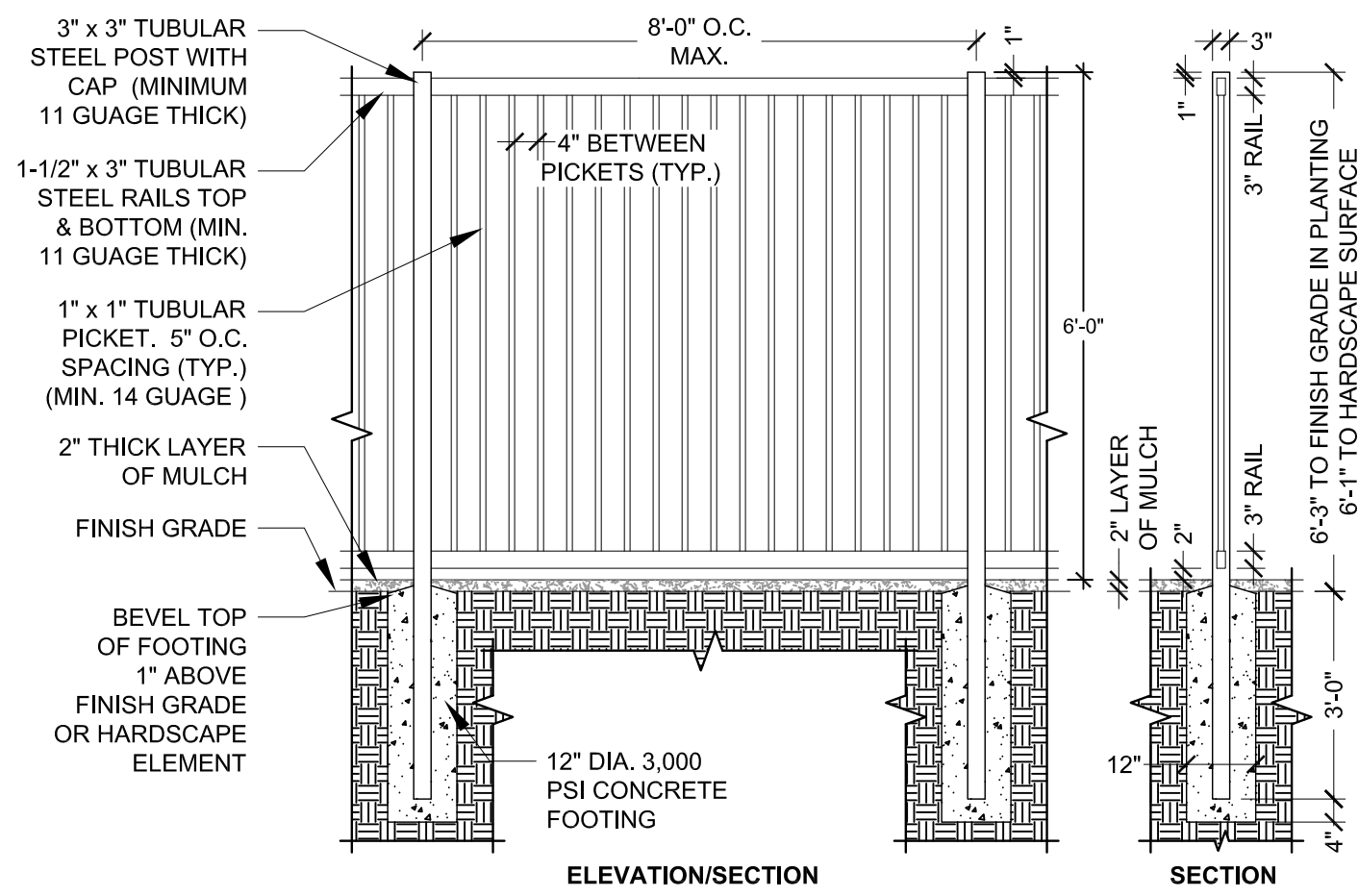
JOB NO. GC21053
ORG. SUBM. DATE 3/15/2021
DWN: TGC /CHKD: TGC
NAME

LANDSCAPE DETAILS

NO. 12 OF 18

DEVELOPMENT PLAN CREST AT WOODMEN

LOT 6, LOOART SUBDIVISION FILING NO. 7
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO
LOCATED AT: 6773 CREST HILL VIEW



FENCE COLOR TO BE BLACK

1 6' HT. POOL FENCE

13 OF 18 SECTION ELEVATION

NOT TO SCALE

SPECIFICATIONS:

MANUFACTURER
VICTOR STANLEY

PRODUCT
PRNA-10
6' LENGTH

COLOR/FINISH
FRAME: BLACK
SLATS: RECYCLED PLASTIC- MAPLE

CONTACT
SARAH KWON
(P): 410.257.7579
SARAHK@VICTORSTANLEY.COM
WWW.VICTORSTANLEY.COM

NOTE:

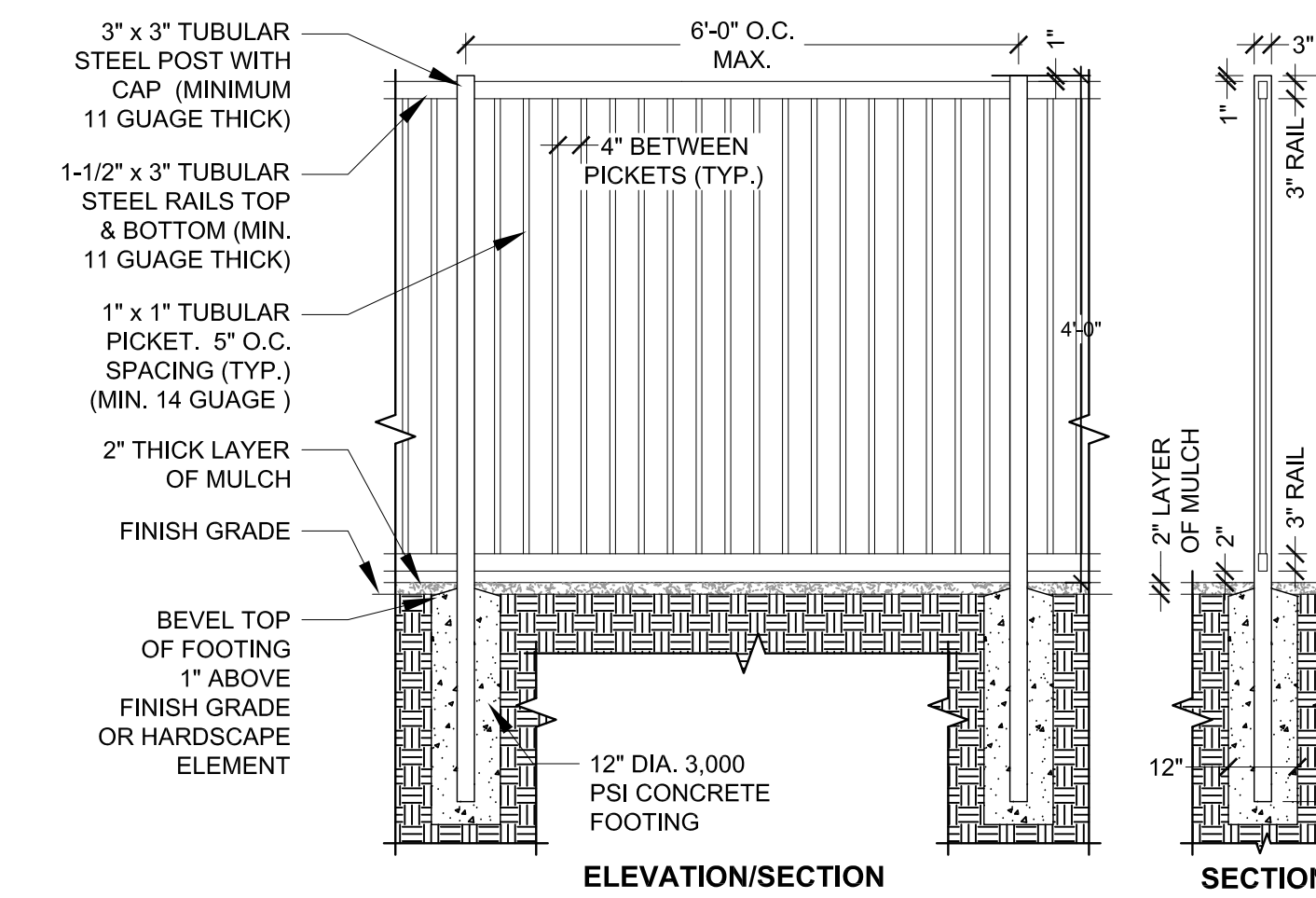
1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
2. REFER TO MATERIALS PLAN FOR BENCH LOCATIONS.
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.



4 BENCH

13 OF 18 IMAGE

NOT TO SCALE



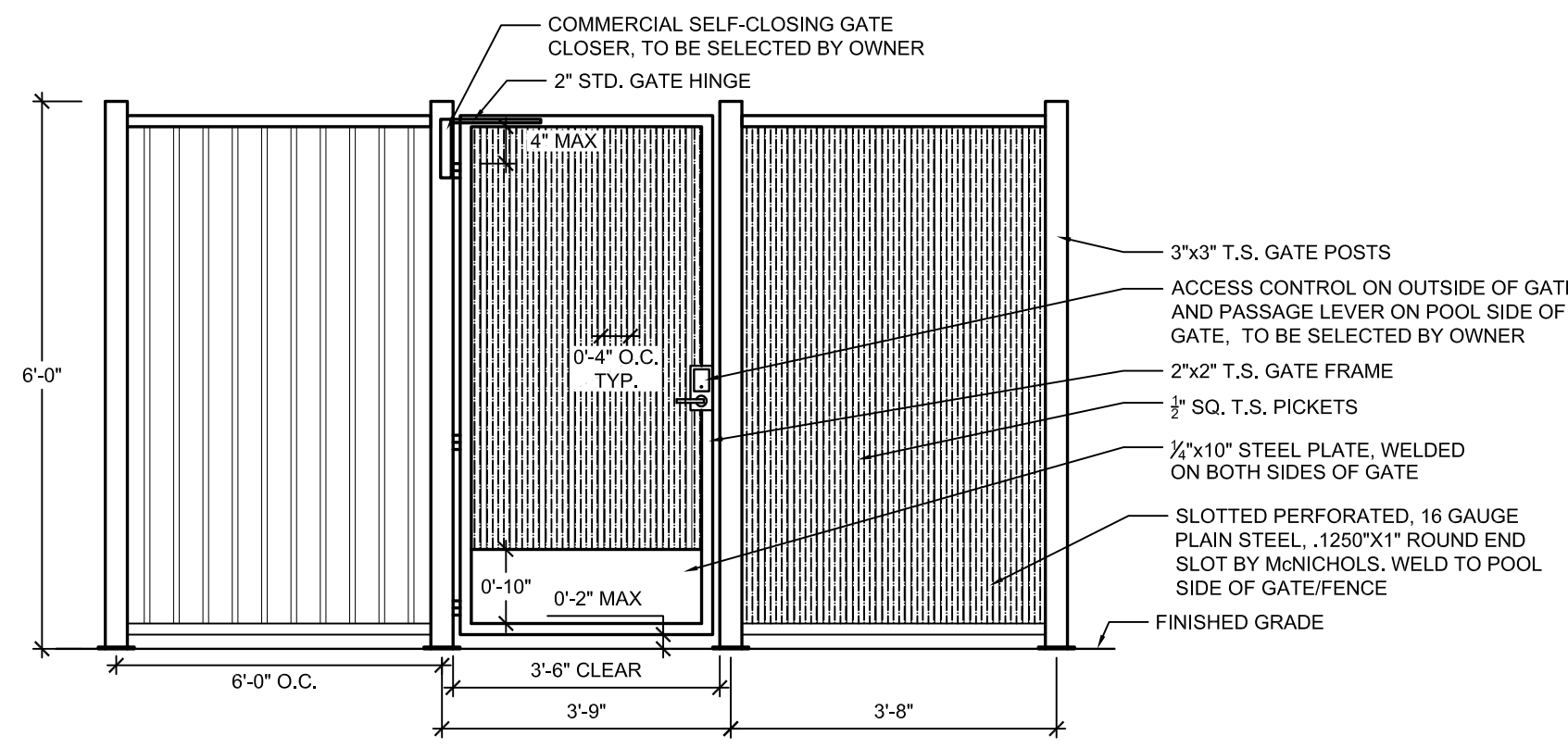
FENCE COLOR TO BE BLACK

7 4' HT. DOG PARK FENCE

13 OF 18 SECTION ELEVATION

NOT TO SCALE

- NOTES:
1. POOL FENCE SHALL COMPLY WITH ALL CURRENT LOCAL, STATE AND FEDERAL GUIDELINES AND STANDARDS AND CURRENT STATE OF COLORADO POOL CODE.
 2. MAXIMUM SPACE BETWEEN POSTS SHALL BE 6'-0".
 3. FENCE POSTS TO BE LOCATED A MAXIMUM OF 4" FROM BUILDING.
 4. ALL STEEL RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS, GROUND SMOOTH, PRIME AND POWDERCOAT FINISH.
 5. ALL STEEL RAILING COLOR TO MATCH BUILDING RAILING.
 6. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO VERIFY CONCRETE FOOTING SIZE AND REINFORCEMENT WITH GEOTECH REPORT PRIOR TO INSTALLATION.
 8. REFER TO MATERIALS PLAN FOR FENCE LOCATION.



GATE COLOR TO BE BLACK

2 6' HT. X 42" WIDTH POOL GATE

13 OF 18 ELEVATION

1/2" = 1'-0"

SPECIFICATIONS:

MANUFACTURER
VICTOR STANLEY

PRODUCT
RTH-24
DOME LID

COLOR/FINISH
FRAME: BLACK
SLATS: RECYCLED PLASTIC- MAPLE

CONTACT
SARAH KWON
(P): 410.257.7579
SARAHK@VICTORSTANLEY.COM
WWW.VICTORSTANLEY.COM

NOTE:

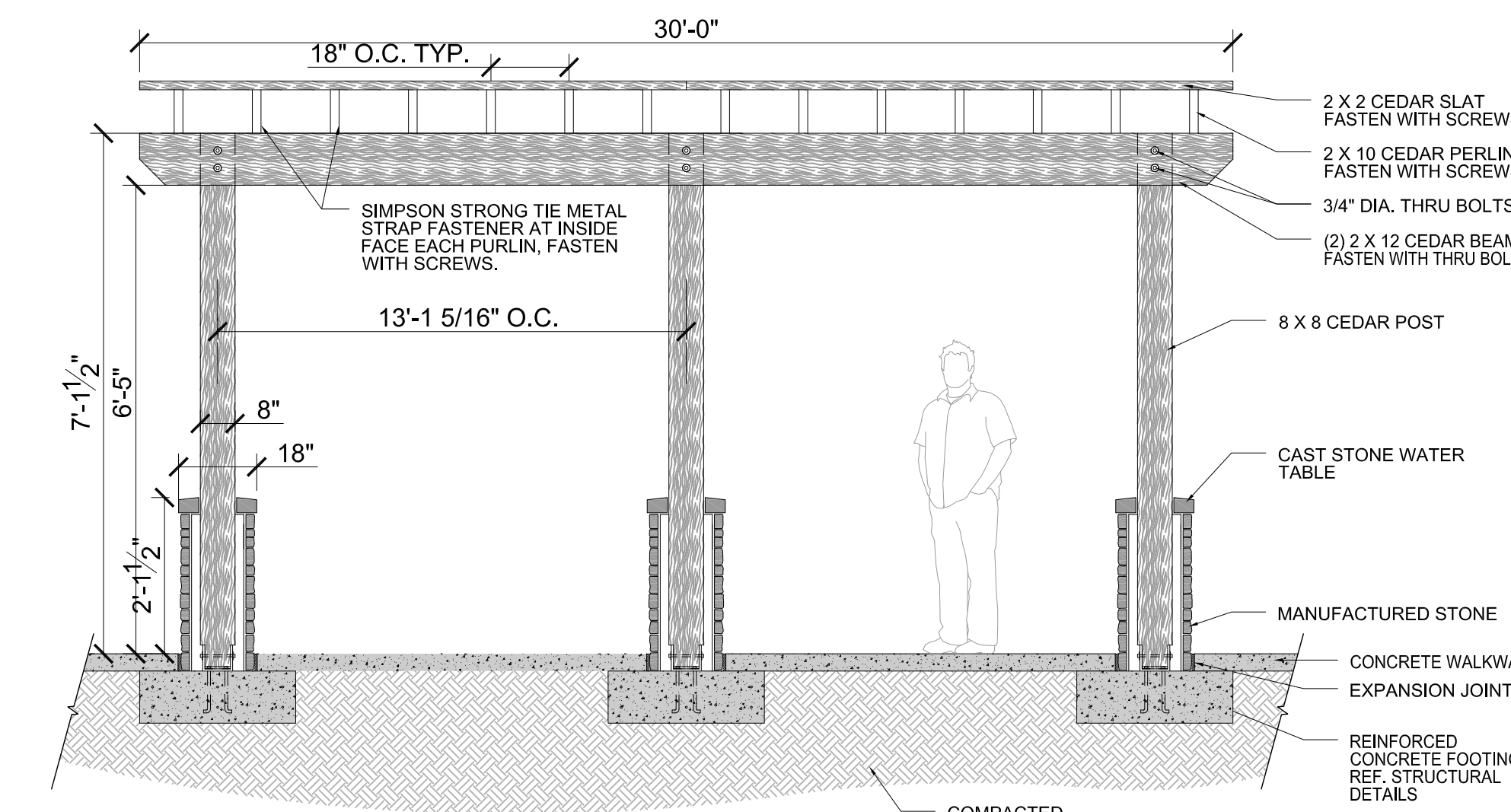
1. IMAGE IS FOR DESIGN INTENT PURPOSES ONLY.
2. REFER TO MATERIALS PLAN FOR TRASH RECEPTACLE LOCATIONS.
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.



5 TRASH RECEPTACLE

13 OF 18 IMAGE

NOT TO SCALE



WOODEN PERGOLA SECTION/ELEVATION

8 POOL COURTYARD WOODEN PERGOLA

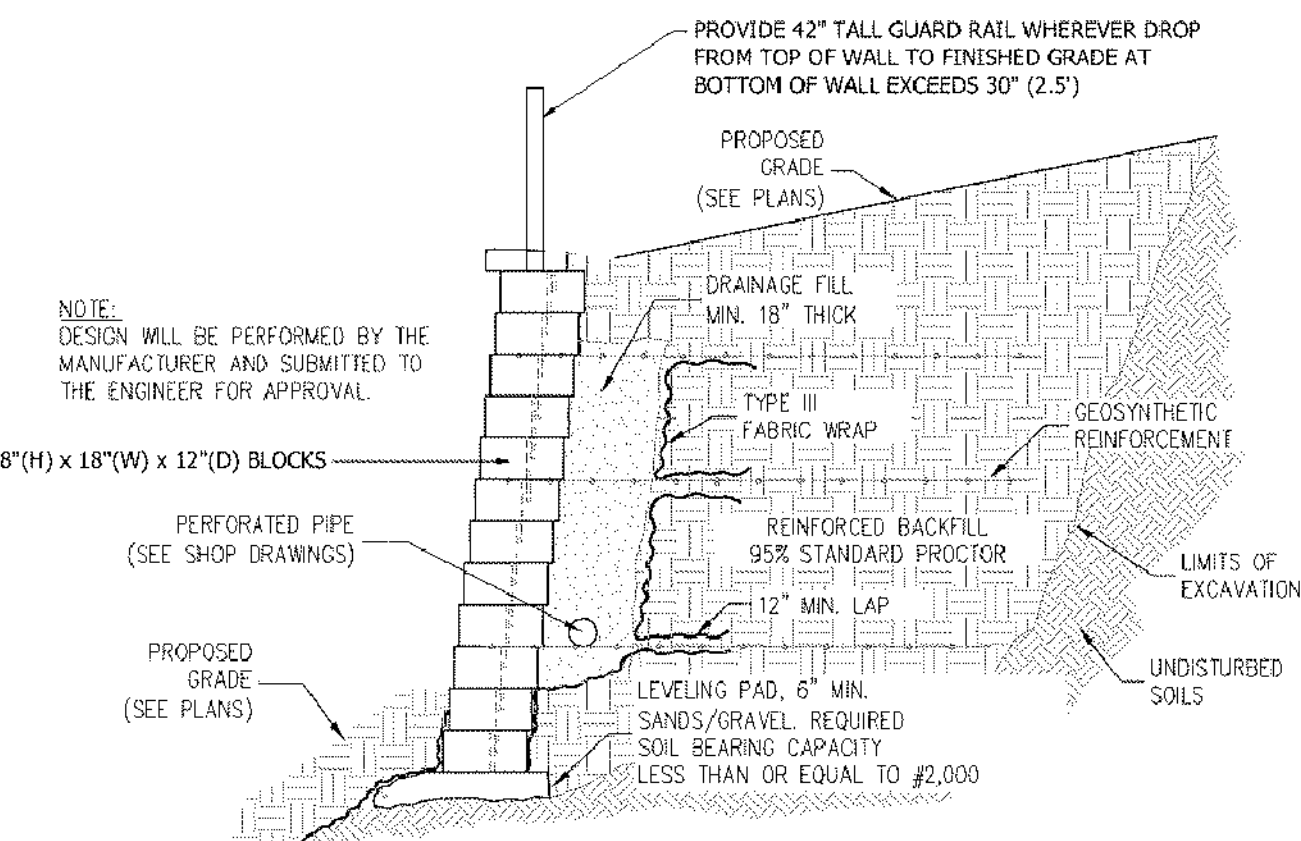
13 OF 18

3 RETAINING WALL

13 OF 18 IMAGE

- NOT FOR CONSTRUCTION -

NOT TO SCALE



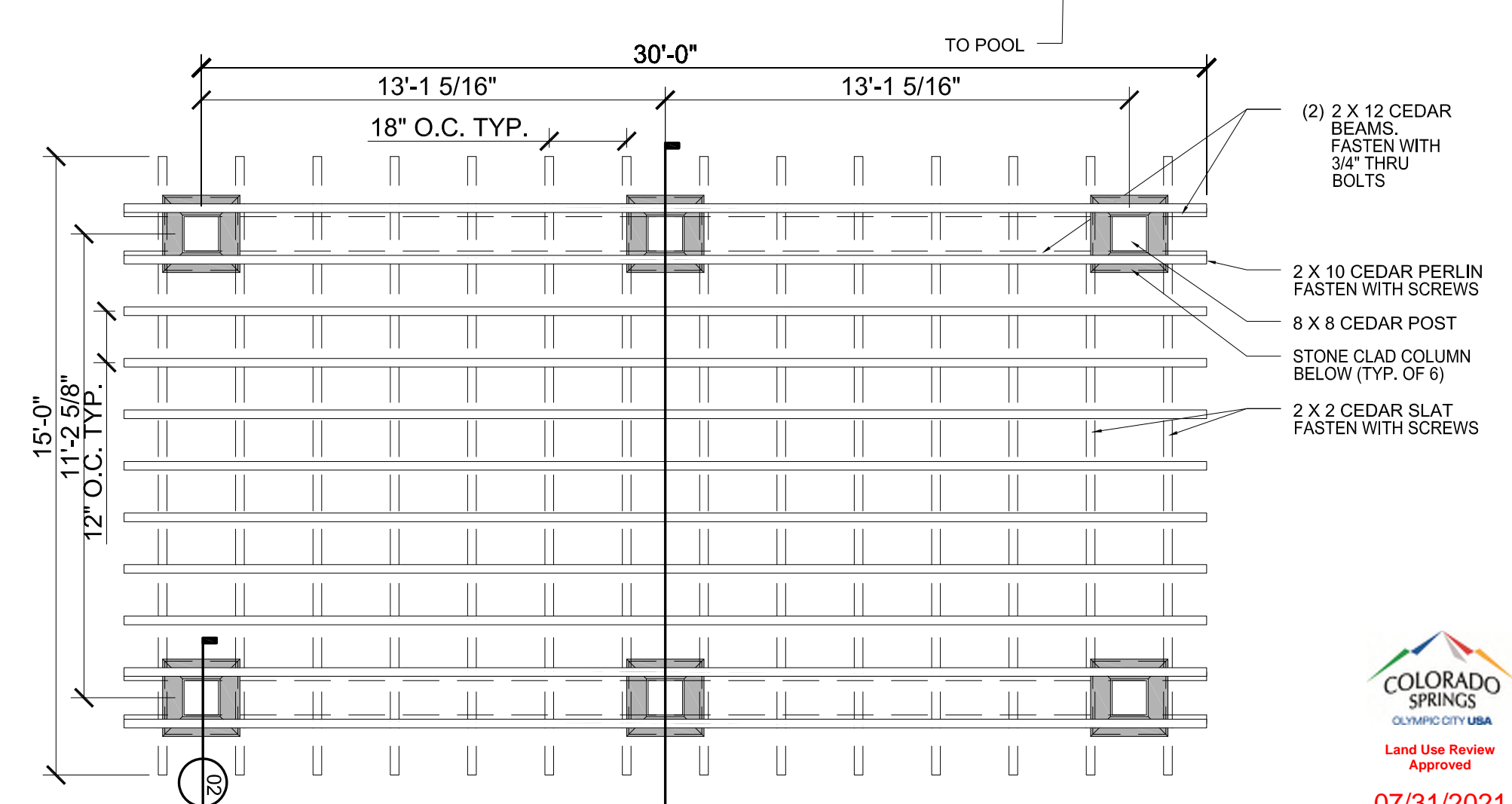
MANUFACTURER: KEYSTONE COMPAC, COLOR: TAN; 12"(D) x 18"(W) x 8"(H) BLOCKS
NOTE: FOR CONCEPTUAL DESIGN ONLY. FINAL SEGMENTED RETAINING WALL DESIGN TO BE DESIGNED BY OTHERS
NOTE: REFER TO GRADING PLAN FOR ELEVATIONS



6 PREFABRICATED CABANA

13 OF 18 SECTION

NTS



WOODEN PERGOLA PLAN

NOT TO SCALE

NO.	REVISION	BY	DATE



PRELIMINARY
FOR REVIEW PURPOSES ONLY
AND SHALL NOT BE USED FOR
BIDDING, PERMITTING, OR
CONSTRUCTION.

NICHOLAS ALLEN SMITH
Registered Landscape Architect of the
State of COLORADO
Registration Number: 1436

**NOT FOR
CONSTRUCTION**

CREST AT WOODMEN
SITE ADDRESS: 6773 CREST HILL VIEW
COLORADO SPRINGS, CO 80920
PREPARED FOR: THE GARRETT COMPANIES
1051 GREENWOOD SPRINGS BLVD, SUITE 101
GREENWOOD, INDIANA 46143

JOB NO. GC21053
ORG. SUBM. DATE 3/15/2021
DWN: TGC CHKD: TGC
NAME

LANDSCAPE DETAILS

NO. 13 OF 18



BUILDING TYPE 1
FRONT
1D ELEVATION
3/32"=1' 10'-8" 16'
1:128



BUILDING TYPE 1
SIDE
1C ELEVATION
3/32"=1' 10'-8" 16'
1:128

MATERIALS:

-  STONE VENEER, QUICKSTACK, DRYSTACK, CORONADO, OATMEAL (CUSTOM).
-  RAILING, METAL, PIPE AND TUBE, BENJAMIN MOORE, BLACK
-  SIDING, PANEL, FIBER CEMENT, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%
-  SIDING, PANEL, FIBER CEMENT WITH FIBER CEMENT BATTENS, BENJAMIN MOORE, 2062-10 - POLO BLUE
-  SIDING, LAP, FIBER CEMENT, BENJAMIN MOORE, CHINA WHITE
-  DOOR, SECTIONAL, PRIMED AND PAINTED, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%



BUILDING TYPE 1
SIDE
1A ELEVATION
3/32"=1' 10'-8" 16'
1:128

THE SUBJECT DEVELOPMENT HAS BEEN GRANTED RELIEF TO CODE SECTION 7.3.600 ALLOWING 49' 5.5" TALL BUILDINGS WHERE A MAX HEIGHT OF 45' IS REQUIRED. PLEASE SEE FILE NUMBER AR R 21-00164

DATE: 03.17.21
PROJECT NO.: 21001
CAD PLATFORM: ACA 2019
PLOT REF. NO.: SEE LOWER LEFT
DRAWING SCALE: SEE DRAWING

REVISIONS	MARK	DATE	INIT	DESCRIPTION
	05.07.21	LMU		COMMENT REVISIONS

PROJECT TITLE _____

CREST AT WOODMEN
COLORADO SPRINGS, CO

COLORADO SPRINGS
dsextion USA
Land Use Review
Approved
07/31/2021
12:11:02 PM
dsextion

SHEET TITLE
BUILDING TYPE 1
ELEVATIONS

SHEET NUMBER

14 of 18

SHEET: _____ OF: _____

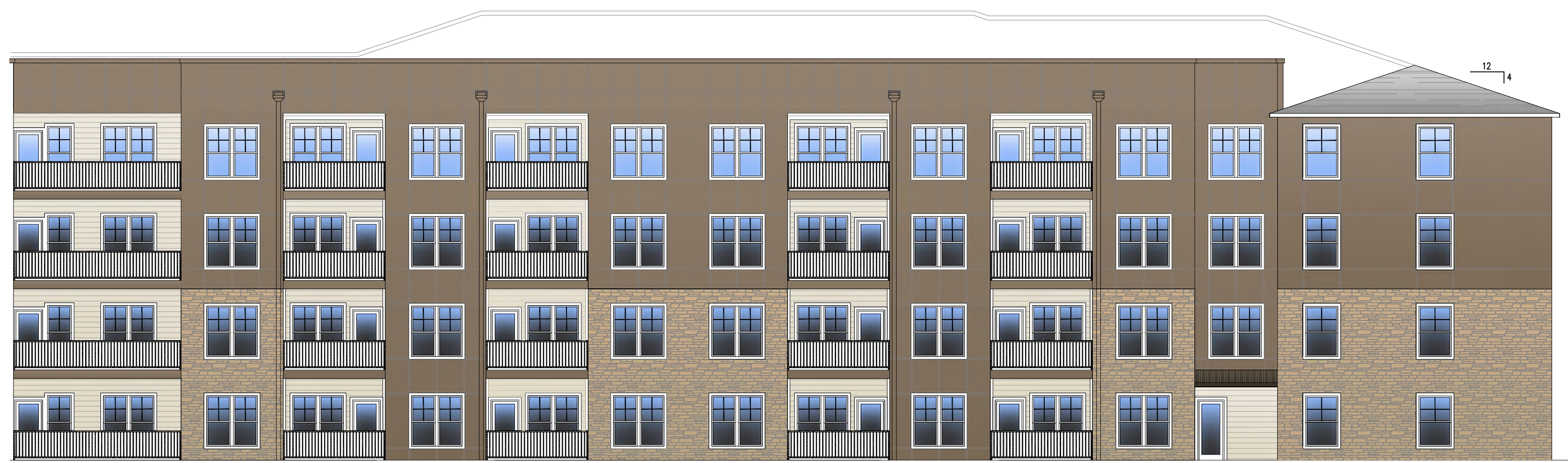
AR PUD 21-00163
AR R 21-00164



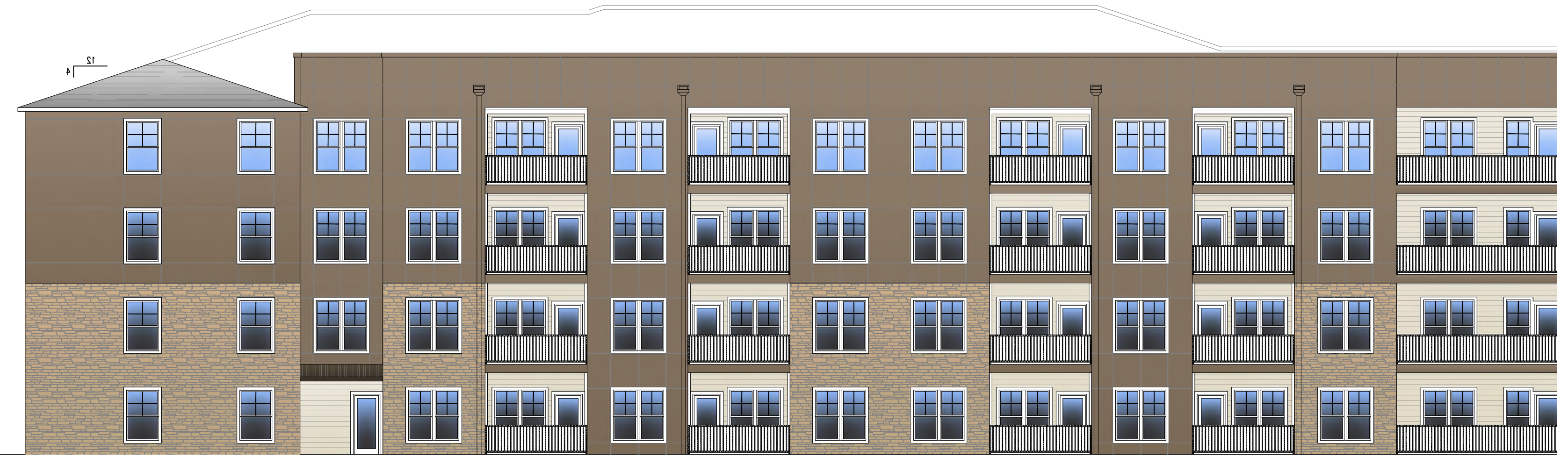
BUILDING TYPE 1
REAR
1D
ELEVATION
3/32"=1' 10'-8" 16'
1:128

- MATERIALS:**
-  STONE VENEER, QUICKSTACK, DRYSTACK, CORONADO, OATMEAL (CUSTOM),
 -  RAILING, METAL, PIPE AND TUBE, BENJAMIN MOORE, BLACK
 -  SIDING, PANEL, FIBER CEMENT, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%
 -  SIDING, PANEL, FIBER CEMENT WITH FIBER CEMENT BATTENS, BENJAMIN MOORE, 2062-10 - POLO BLUE
 -  SIDING, LAP, FIBER CEMENT, BENJAMIN MOORE, CHINA WHITE
 -  DOOR, SECTIONAL, PRIMED AND PAINTED, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%

THE SUBJECT DEVELOPMENT HAS BEEN GRANTED RELIEF TO CODE SECTION 7.3.600 ALLOWING 49' 5.5" TALL BUILDINGS WHERE A MAX HEIGHT OF 45' IS REQUIRED. PLEASE SEE FILE NUMBER AR R 21-00164



BUILDING TYPE 1
COURTYARD SIDE
1B
ELEVATION
3/32"=1' 10'-8" 16'
1:128



BUILDING TYPE 1
COURTYARD SIDE
1A
ELEVATION
3/32"=1' 10'-8" 16'
1:128

DATE: 03.17.21
PROJECT NO.: 21001
CAD PLATFORM: ACA 2019
PLOT REF. NO.: SEE LOWER LEFT
DRAWING SCALE: SEE DRAWING

REVISIONS

MARK	DATE	INIT	DESCRIPTION
05.07.21	LMU		COMMENT REVISIONS

PROJECT TITLE _____

B
CREST AT WOODMEN
COLORADO SPRINGS, CO

A
SHEET TITLE
BUILDING TYPE 1
ELEVATIONS

SHEET NUMBER _____

15 of 18

SHEET: _____ OF: _____

AR PUD 21-00163
AR R 21-00164





**BUILDING 2
FRONT
ELEVATION**
3/32"=1' 10'-8" 16'
1:128



**BUILDING TYPE 2
REAR
ELEVATION**
3/32"=1' 10'-8" 16'
1:128

MATERIALS:

-  STONE VENEER, QUICKSTACK, DRYSTACK, CORONADO, OATMEAL (CUSTOM),
-  RAILING, METAL, PIPE AND TUBE, BENJAMIN MOORE, BLACK
-  SIDING, PANEL, FIBER CEMENT, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%
-  SIDING, PANEL, FIBER CEMENT WITH FIBER CEMENT BATTENS, BENJAMIN MOORE, 2062-10 - POLO BLUE
-  SIDING, LAP, FIBER CEMENT, BENJAMIN MOORE, CHINA WHITE
-  DOOR, SECTIONAL, PRIMED AND PAINTED, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%

THE SUBJECT DEVELOPMENT HAS BEEN GRANTED RELIEF TO CODE SECTION 7.3.600 ALLOWING 49' 5.5" TALL BUILDINGS WHERE A MAX HEIGHT OF 45' IS REQUIRED. PLEASE SEE FILE NUMBER AR R 21-00164



**BUILDING TYPE 2
SIDE
ELEVATION**
3/32"=1' 10'-8" 16'
1:128



**BUILDING TYPE 2
SIDE
ELEVATION**
3/32"=1' 10'-8" 16'
1:128

E

D

C

B

A

DATE: 03.17.21
PROJECT NO.: 21001
CAD PLATFORM: ACA 2019
PLOT REF. NO.: SEE LOWER LEFT
DRAWING SCALE: SEE DRAWING

REVISIONS

MARK	DATE	INIT	DESCRIPTION
05.07.21	LMU		COMMENT REVISIONS

PROJECT TITLE _____

CREST AT WOODMEN
COLORADO SPRINGS, CO

SHEET TITLE
**BUILDING TYPE 2
ELEVATIONS**

SHEET NUMBER _____



07/31/2021
12:11:03 PM
dsexton

16 of 18

SHEET: _____ OF: _____

AR PUD 21-00163
AR R 21-00164

6

5





4

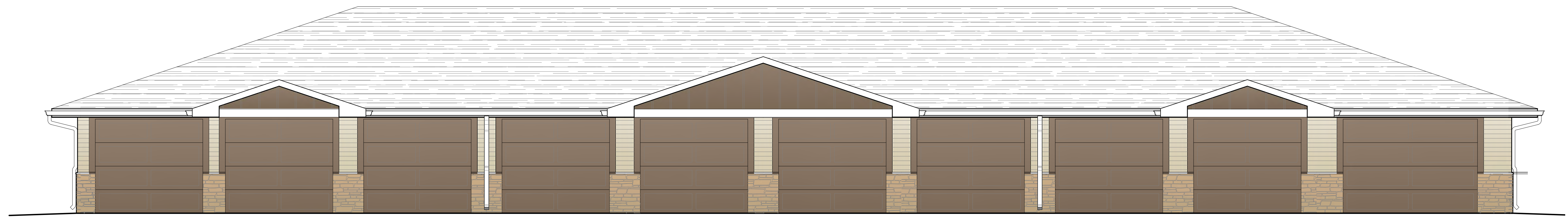
3

2

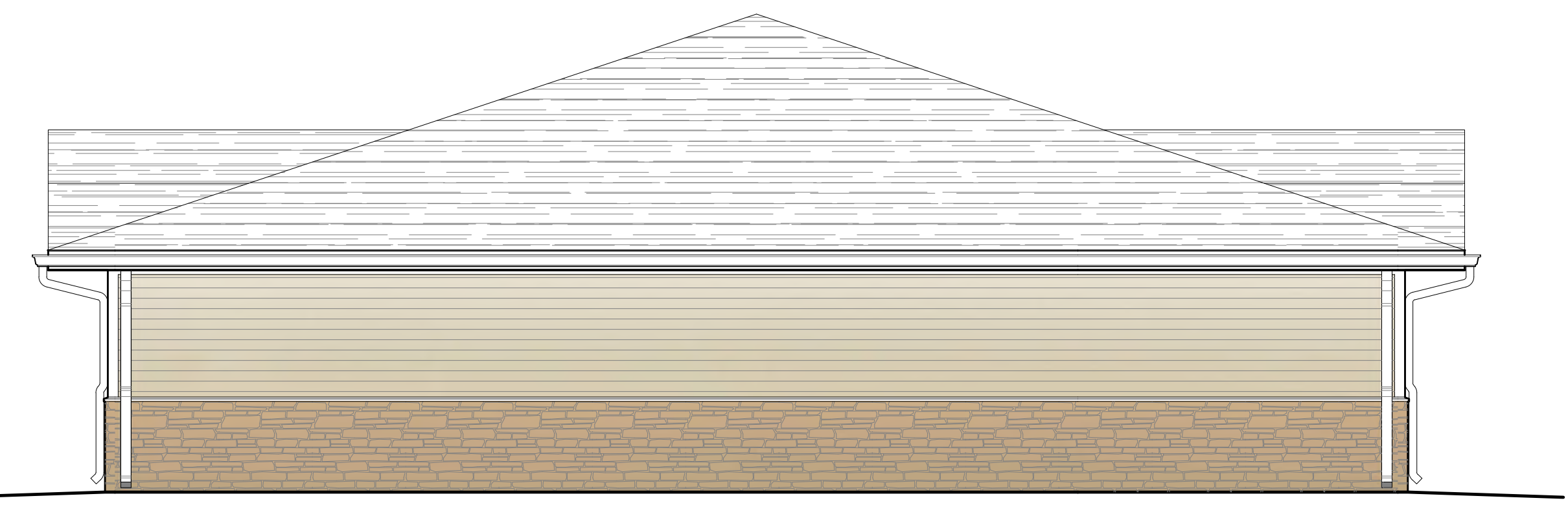
1

MATERIALS:

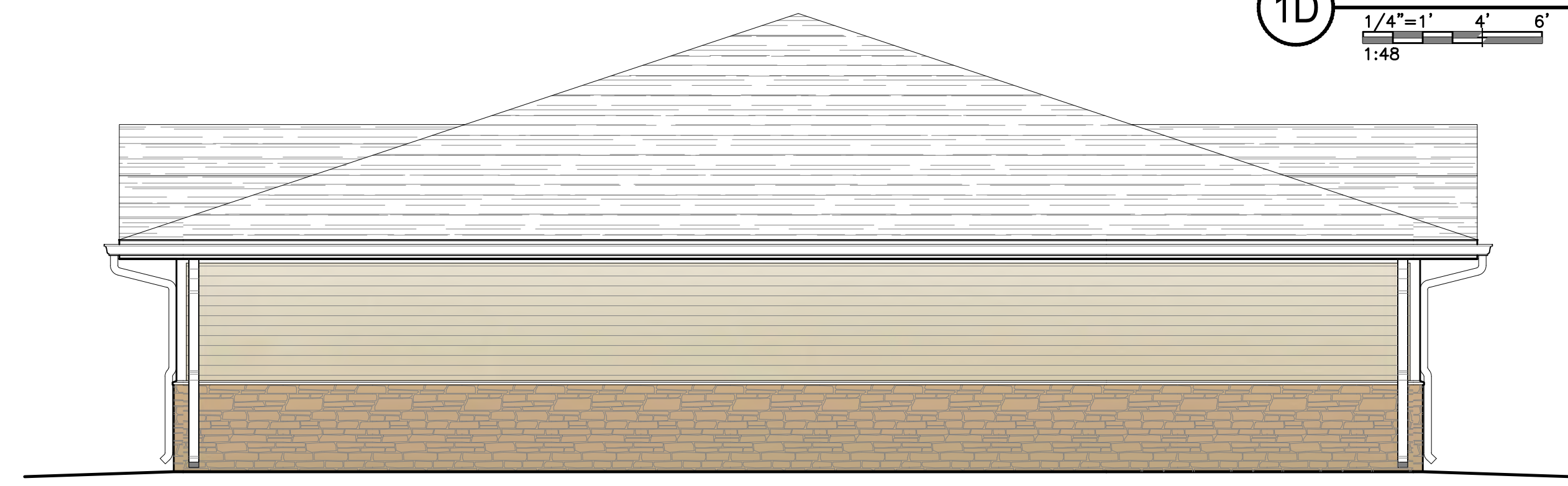
-  STONE VENEER, QUICKSTACK, DRYSTACK, CORONADO, OATMEAL (CUSTOM),
-  SIDING, PANEL, FIBER CEMENT, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%
-  SIDING, LAP, FIBER CEMENT, BENJAMIN MOORE, CHINA WHITE
-  DOOR, SECTIONAL, PRIMED AND PAINTED, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%



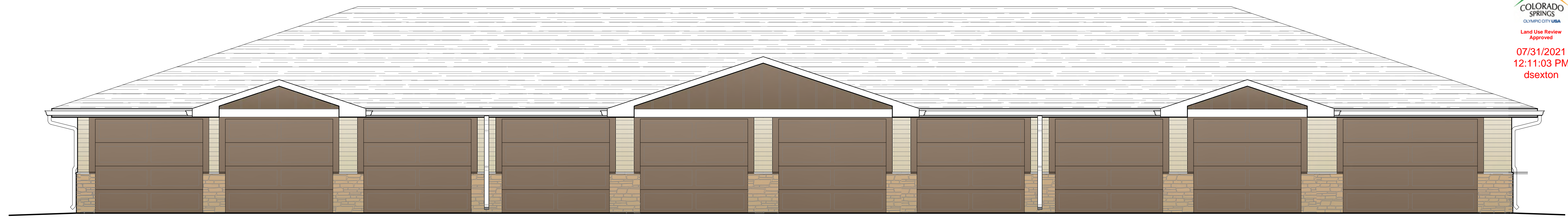
1D GARAGE REAR ELEVATION
1/4" = 1' 4' 6'
1:48



4B GARAGE SIDE ELEVATION
1/4" = 1' 4' 6'
1:48



1B GARAGE SIDE ELEVATION
1/4" = 1' 4' 6'
1:48



1A GARAGE FRONT ELEVATION
1/4" = 1' 4' 6'
1:48

DATE: 03.17.21
PROJECT NO.: 21001
CAD PLATFORM: ACA 2019
PLOT REF. NO.: SEE LOWER LEFT
DRAWING SCALE: SEE DRAWING

REVISIONS	MARK	DATE	INIT	DESCRIPTION
	05.07.21	LMJ		COMMENT REVISIONS

PROJECT TITLE

CREST AT WOODMEN
COLORADO SPRINGS, CO



SHEET TITLE
GARAGE ELEVATIONS

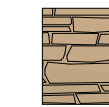
SHEET NUMBER

17 of 18

SHEET: OF:
AR PUD 21-00163
AR R 21-00164

6 5 4 3 2 1

MATERIALS:



STONE VENEER, QUICKSTACK, DRYSTACK, CORONADO, OATMEAL (CUSTOM),



SIDING, PANEL, FIBER CEMENT, BENJAMIN MOORE HC-85, FAIRVIEW TAUPE, 70%

LI

5709 south creek parkway north drive suite 100 indianapolis, in 46240
p: 317.842.8870 f: 317.842.8977

COPYRIGHT & OWNERSHIP OF DOCUMENTS
THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND THE ARCHITECTURE STUDIO, INC. ALL INFORMATION CONTAINED HEREIN IS CONFIDENTIAL. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE ARCHITECT AND THE ARCHITECTURE STUDIO, INC. SHALL BE SOLELY RESPONSIBLE FOR ANY REVISIONS OR CORRECTIONS TO THIS DOCUMENT. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN IS TO BE USED FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT AND THE ARCHITECTURE STUDIO, INC.

© COPYRIGHT 2021 CARL DAVID TOTH, AIA, INDIANAPOLIS

SIGNATURE

SEAL

D

DATE: 03.17.21
PROJECT NO.: 21001
CAD PLATFORM: ACA 2019
PLOT REF. NO.: SEE LOWER LEFT
DRAWING SCALE: SEE DRAWING

REVISIONS			
MARK	DATE	INITIALS	DESCRIPTION
05.07.21	LMJ		COMMENT REVISIONS

C

PROJECT TITLE

CREST AT WOODMEN

COLORADO SPRINGS, CO

B

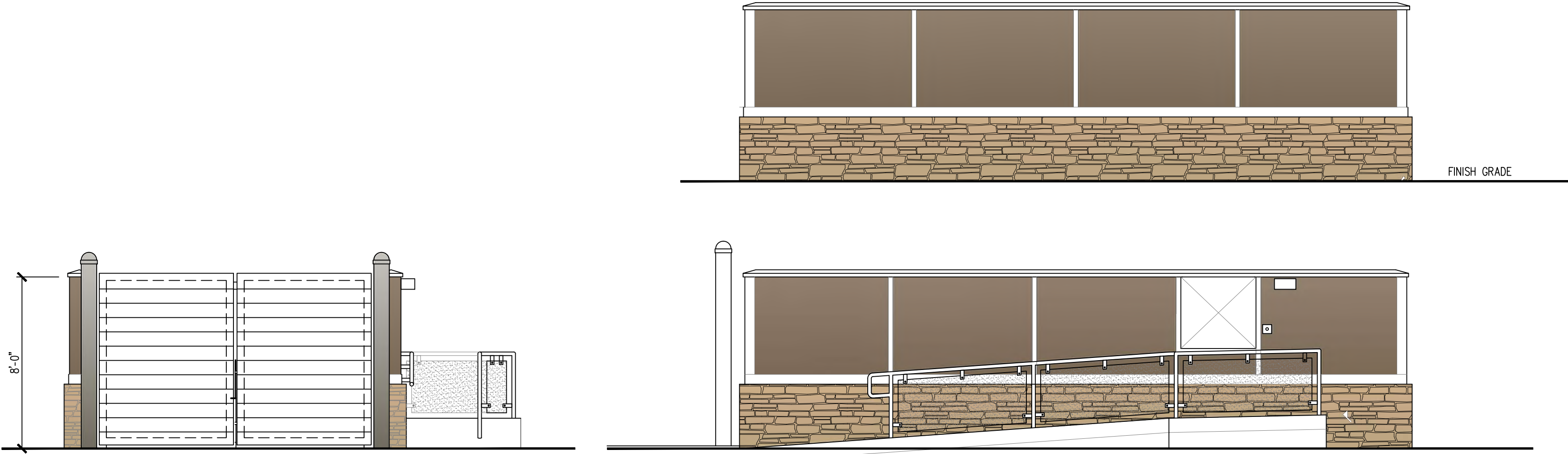
SHEET TITLE
**TRASH ENCLOSURE
ELEVATIONS**

A

SHEET NUMBER

18 of 18

SHEET: OF:



07/31/2021
12:11:03 PM
dsexton