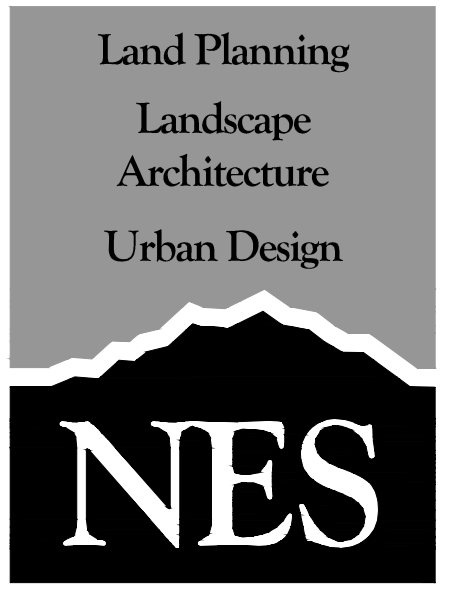


HIGHLANDS AT BRIARGATE

CITY OF COLORADO SPRINGS, COLORADO

MAJOR DEVELOPMENT PLAN AMENDMENT



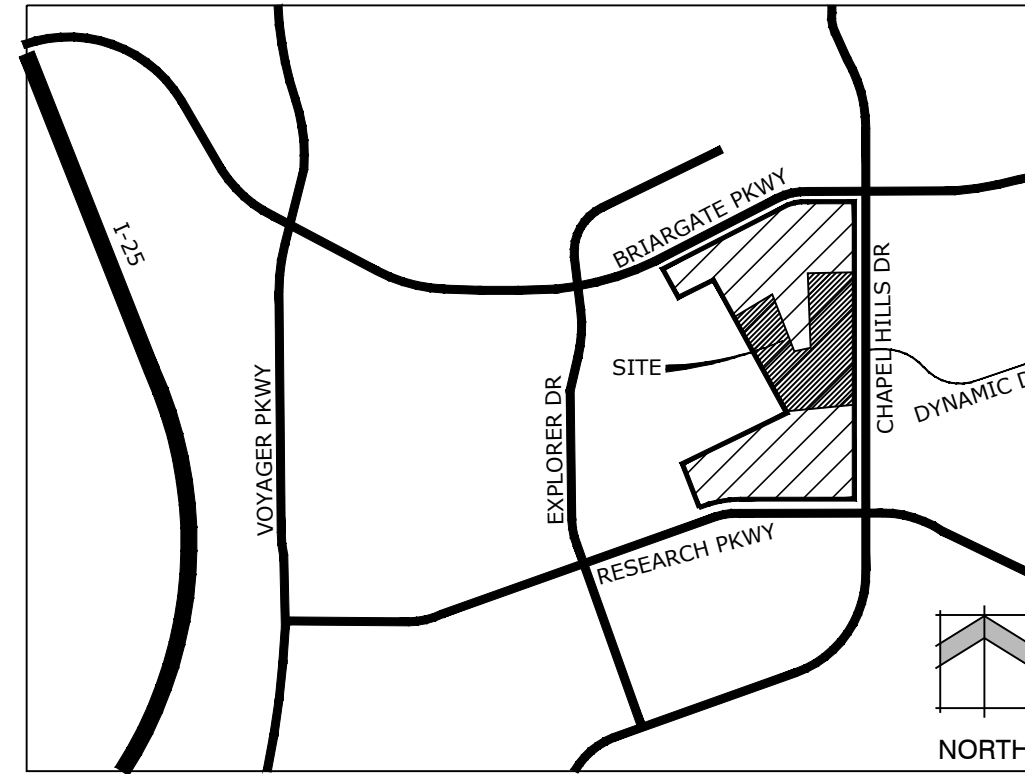
N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

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GENERAL NOTES:

1. FLOODPLAIN: THIS SITE, HIGHLANDS AT BRIARGATE, IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0508G, EFFECTIVE DECEMBER 7, 2018.
2. NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR INCIDENTAL SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN WITH THE LAND.
3. THIS PROPERTY IS SUBJECT TO AN AVIGATION EASEMENT AS RECORDED UNDER BOOK 5144 AT PAGE 1022.
4. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
5. THE BRIARGATE BUSINESS CAMPUS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS IN BOOK 5306 AND PAGE 473, AS AMENDED.
6. ALL EXISTING CURB, GUTTER, DRIVEWAY APRONS, PEDESTRIAN RAMPS AND SIDEWALK POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION, OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG BRIARGATE PARKWAY AND CHAPEL HILLS DRIVE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 385-5977.
7. ALL ACCESS DRIVEWAYS, DRIVES, AISLE WAYS, MANEUVERING AND PARKING AREAS WITHIN THIS PLATTED LOT SHALL BE FOR THE COMMON USE OF ALL USERS, PUBLIC AND PRIVATE, AND OWNERS OF THIS PLANNED DEVELOPMENT.
8. THE DEVELOPER SHALL INSTALL ALL ON-SITE TRAFFIC CONTROL MEASURES SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
9. WATER QUALITY AND DETENTION FOR HIGHLANDS AT BRIARGATE FILING NO. 5 WILL BE PROVIDED IN THE UPGRADED STORMWATER QUALITY AND DETENTION FACILITY "POND 2A" AS INDICATED IN THE APPROVED FINAL DRAINAGE REPORT FOR HIGHLANDS AT BRIARGATE FILING NO. 1. ADDITIONAL REGIONAL DETENTION FOR THIS SITE IS PROVIDED WITH THE EXISTING PINE CREEK REGIONAL DETENTION FACILITY NO. 1.
10. ALL LOTS AS PLATTED HEREIN ARE SUBJECT TO THE DECLARATION OF EASEMENTS AND RESTRICTIONS RECORDED IN THE REAL PROPERTY RECORDS OF THE COUNTY OF EL PASO, STATE OF COLORADO, UNDER RECEPTION NO. 217079172. ALL LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO THE DECLARATION OF CROSS-ACCESS EASEMENTS RECORDED UNDER RECEPTION NO. 217079172, AS AMENDED.
11. SPRING MOUNTAIN VIEW SHALL BE COMPLETED PRIOR TO CERTIFICATES OF OCCUPANCY BEING ISSUED FOR ANY OF THE BUILDINGS THAT ARE A PART OF THIS DEVELOPMENT PLAN.
12. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
13. THE DEVELOPER WILL BE FULLY RESPONSIBLE TO CONSTRUCT A TRAFFIC SIGNAL AT THE INTERSECTION OF CHAPEL HILLS DRIVE WITH SPRING MOUNTAIN VIEW/ DYNAMIC DRIVE OR PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER WILL BE REQUIRED TO REMIT THE AMOUNT OF \$200,000 FOR THE FUTURE ANTICIPATED TRAFFIC SIGNAL.
14. THE SKYLINE TRAIL SHALL MIRROR MAINTENANCE RESPONSIBILITIES OF BRIARGATE BUSINESS CAMPUS AND AND PUBLIC RIGHT-OF-WAY.

Vicinity Map
N.T.S.



LEGAL DESCRIPTION:

LOT 3 of HIGHLANDS AT BRIARGATE FILING NO. 3.

TO BE PLATTED AS: LOT 1 AND 2 OF HIGHLANDS AT BRIARGATE FILING NO. 5.

SITE DATA:

CONCEPT PLAN NAME: HIGHLANDS AT BRIARGATE (CPC CP 14-00115)
MASTER PLAN NAME: BRIARGATE MASTER PLAN
EXISTING ZONING: PBC (CPC ZC 14-00114, ORD. 15-16)

PHASE 4 TOTAL AREA: 11.418AC

DRAINAGE BASIN: PINE CREEK BASIN
PROPOSED USES: RETAIL AND OFFICE
TSN: 6233201013

DEVELOPMENT SCHEDULE: SPRING 2023

PHASE 4 AREA:
PROPOSED BUILDING AREA (1st FLOOR): 32,719 SF (7%)

BUILDING SETBACKS: 25 FEET (BRIARGATE PKWY, RESEARCH PKWY, CHAPEL HILLS DR)
MAXIMUM BUILDING HEIGHT: 45 FEET
LANDSCAPE SETBACKS:
BRIARGATE PKWY- 25 FEET
RESEARCH PKWY- 25 FEET
CHAPEL HILLS DR- 20 FEET

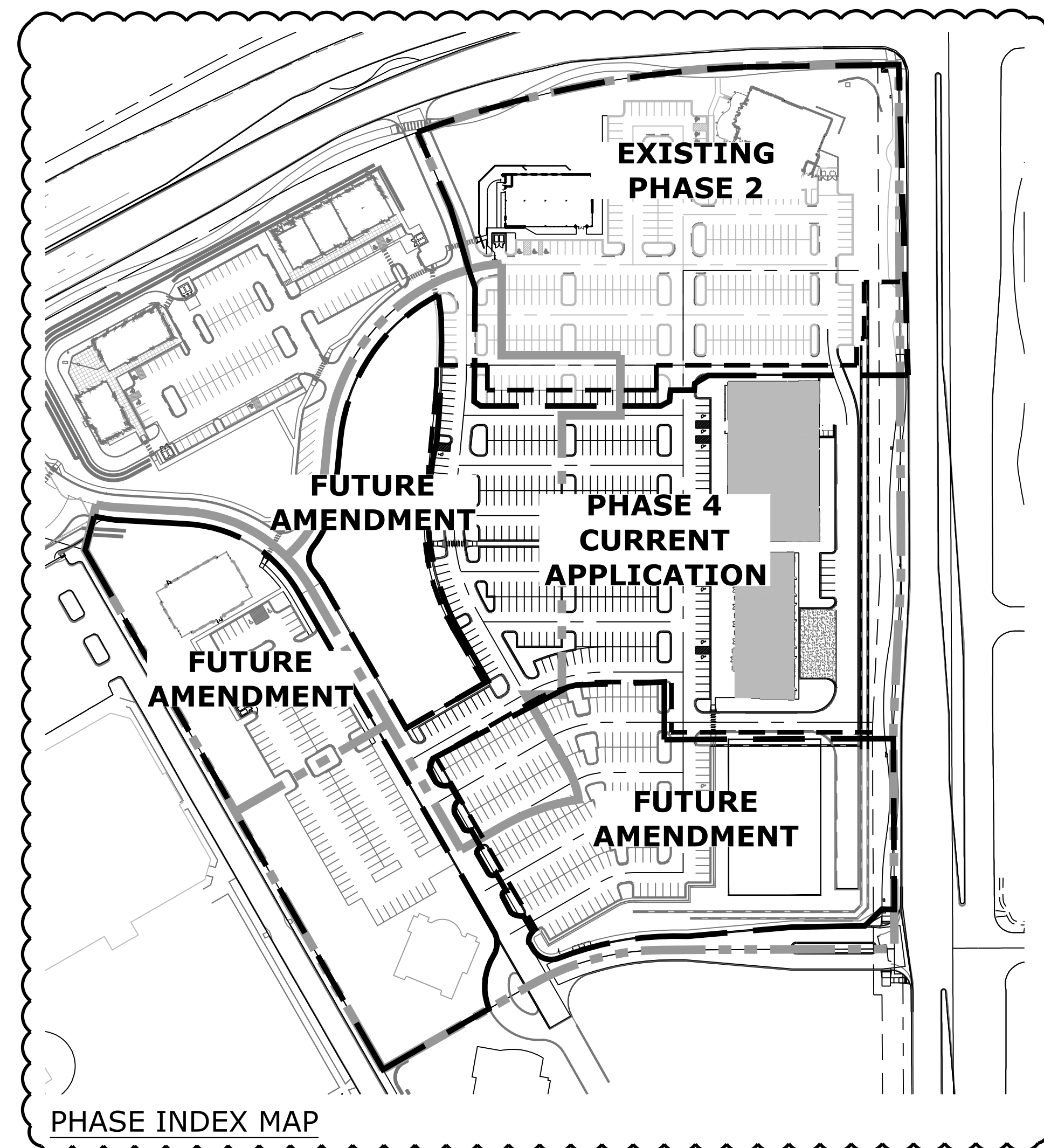
PARKING DATA :

COMMERCIAL CENTER
BUILDING AREA (32,719 SF)

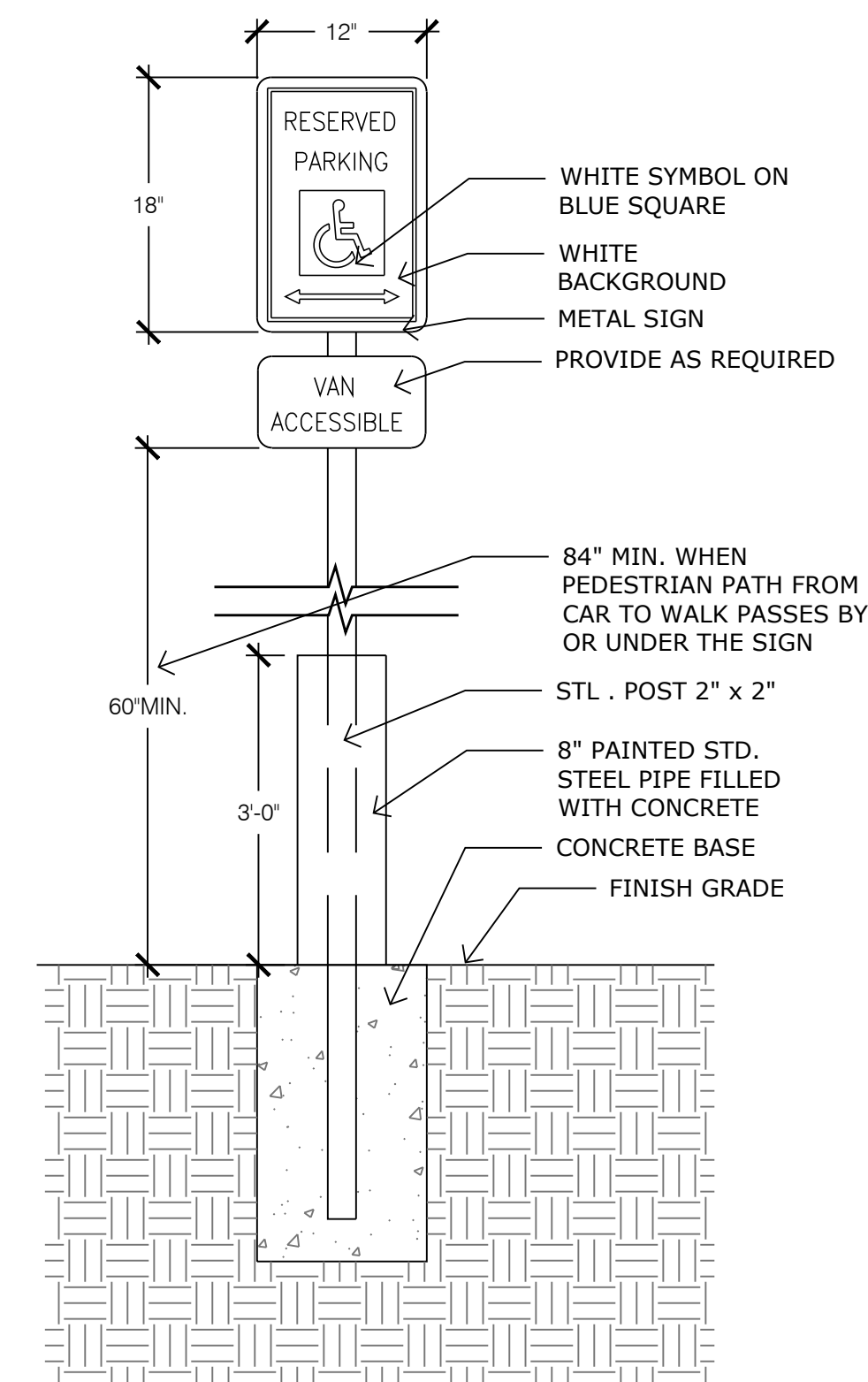
PARKING REQ: 1 SP/300 SF = 110 SP

TOTAL REQ: 110 SPACES
TOTAL PROV: 311 SPACES*
ADA SPACES REQ: 8 SPACES (2 VAN ACCESSIBLE)
ADA SPACES PROV: 8 SPACES (5 VAN ACCESSIBLE)

*REFERENCE NOTE 7



PHASE INDEX MAP



1 ADA SIGN

SCALE: NTS

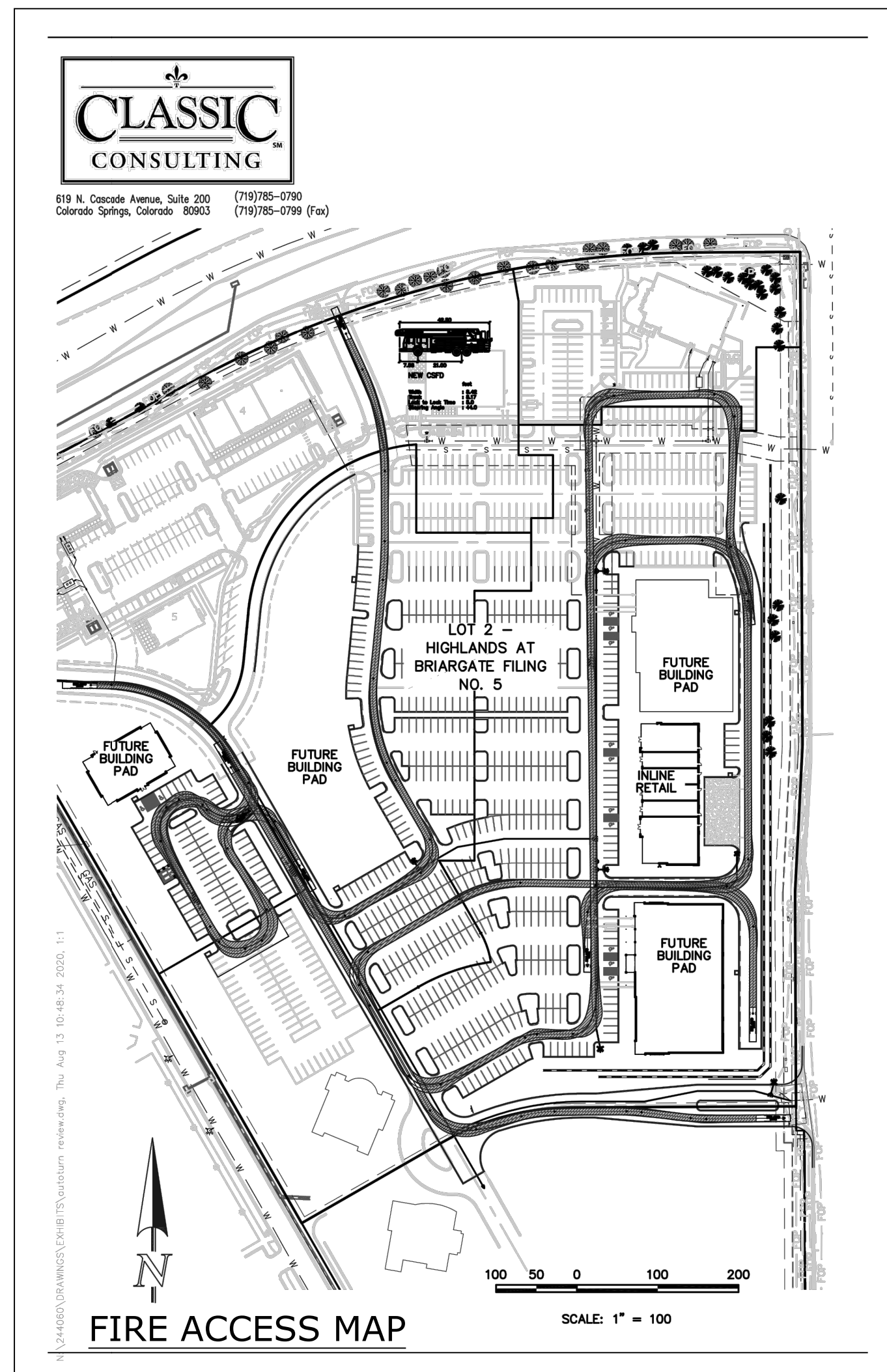
OWNER:
FOCUS ON THE FAMILY
8605 EXPLORER DRIVE
COLORADO SPRINGS, CO 80920

DEVELOPER:
KEITH CORPORATION
5935 CARNEGIE BOULEVARD, SUITE 200
CHARLOTTE, NC 28209

APPLICANT:
N.E.S. INC.
619 N. CASCADE AVENUE, SUITE 200
COLORADO SPRINGS, CO 80903

SHEET INDEX:

- SHEET 1 OF 14: COVER SHEET
- SHEET 2 OF 14: DEVELOPMENT PLAN
- SHEET 3 OF 14: PRELIMINARY GRADING PLAN AND PUBLIC FACILITIES
- SHEET 4 OF 14: PRELIMINARY GRADING PLAN AND PUBLIC FACILITIES
- SHEET 5 OF 14: PRELIMINARY GRADING PLAN AND PUBLIC FACILITIES
- SHEET 6 OF 14: PRELIMINARY UTILITY PLAN
- SHEET 7 OF 14: PRELIMINARY UTILITY PLAN
- SHEET 8 OF 14: PRELIMINARY LANDSCAPE PLAN
- SHEET 9 OF 14: PRELIMINARY LANDSCAPE PLAN
- SHEET 10 OF 14: PRELIMINARY LANDSCAPE PLAN
- SHEET 11 OF 14: LANDSCAPE & SITE DETAILS
- SHEET 12 OF 14: ARCHITECTURAL ELEVATIONS
- SHEET 13 OF 14: ARCHITECTURAL ELEVATIONS
- SHEET 14 OF 14: ARCHITECTURAL ELEVATIONS



FIRE ACCESS MAP

SCALE: 1" = 100'

AMENDMENT HISTORY		
CITY LUR FILE NUMBER	DATE	AMENDMENT DESCRIPTION
AR DP 20-00576	4/12/2021	APPROVED DP
AR DP 20-00576-A1MJ22	CURRENT	REVISED BUILDING PADS ON LOT 2 HIGHLANDS AT BRIARGATE FILING NO. 5

Highlands at Briargate Phase 4

Major Development Plan Amendment
8605 Explorer Dr
Colorado Springs, CO 80920

DATE: 7/19/2022
PROJECT MGR: B. PERKINS
PREPARED BY: J. SHAGIN

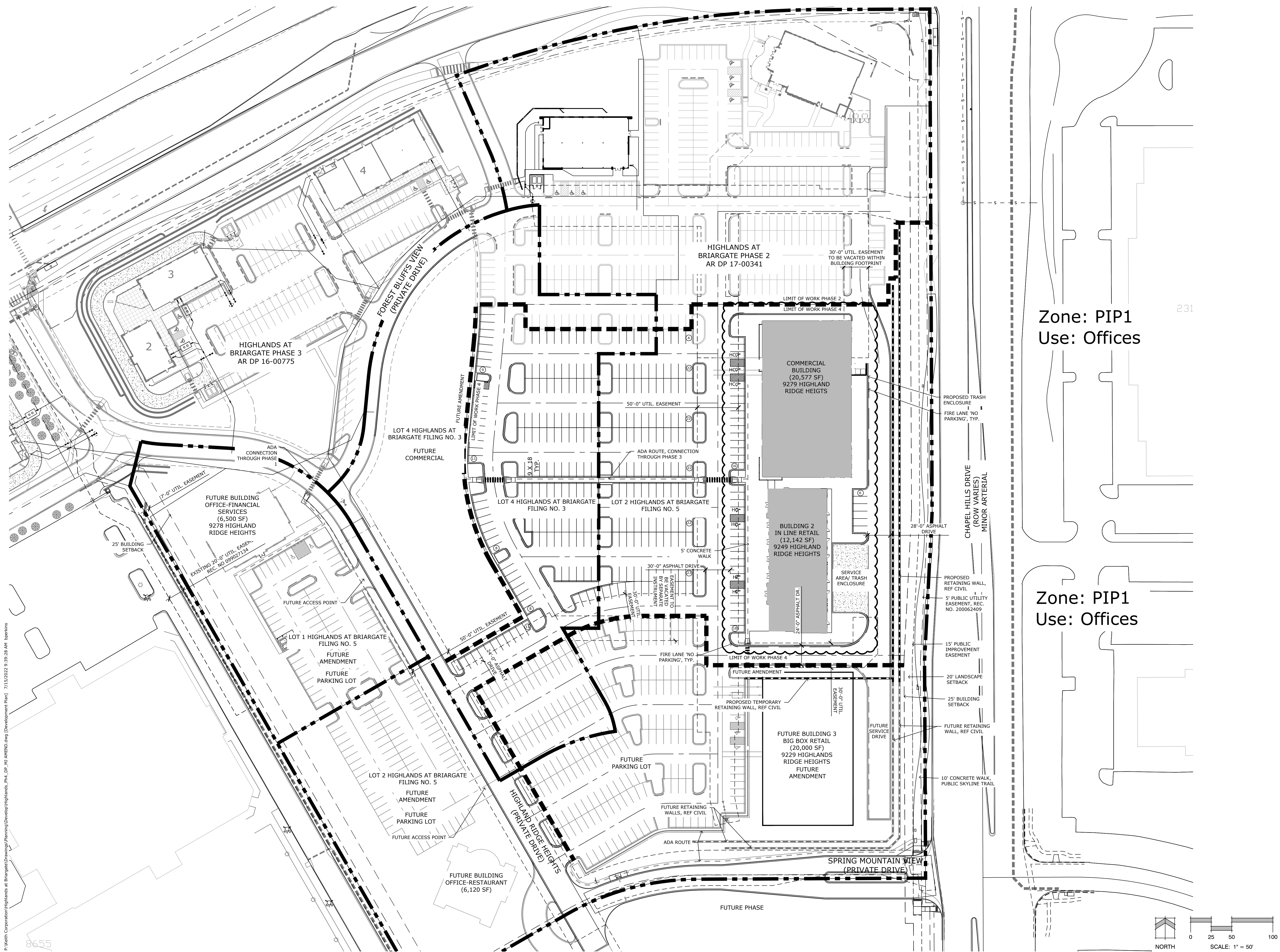
ENTITLEMENT

DATE: BY: DESCRIPTION:

COVER

1 OF 14

AR DP 20-00576-A1MJ22



**Highlands at
Briargate
Phase 4**
Major Development
Plan Amendment
8605 Explorer Dr
Colorado Springs, CO
80920

DATE: 7/19/2022
PROJECT MGR: B. PERKINS
PREPARED BY: J. SHAGIN

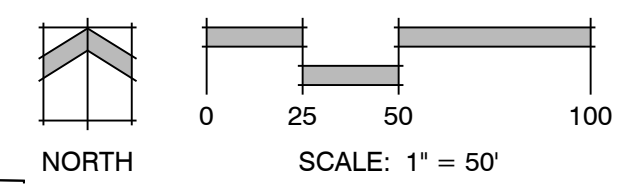
ENTITLEMENT

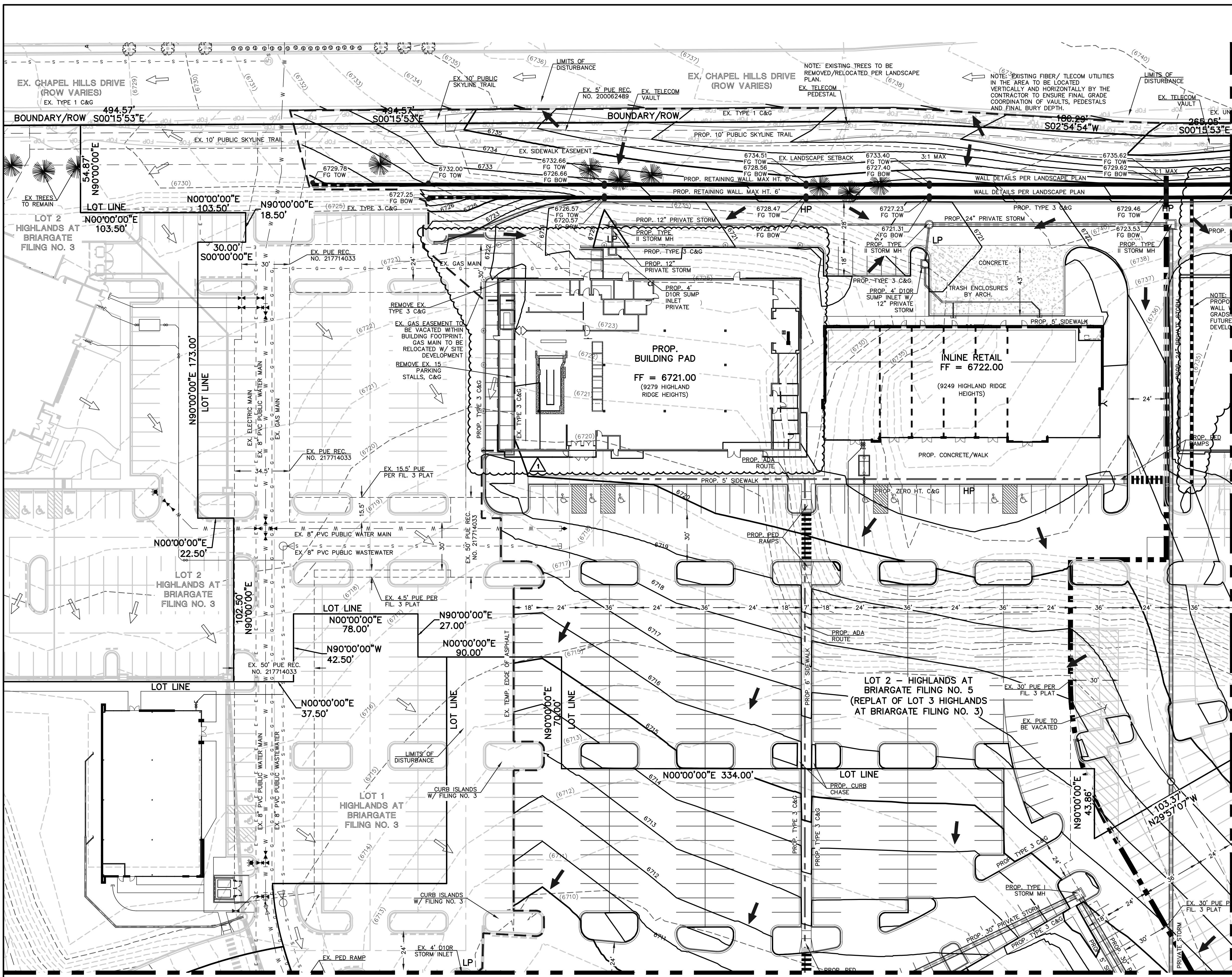
DATE:	BY:	DESCRIPTION:

DEVELOPMENT PLAN

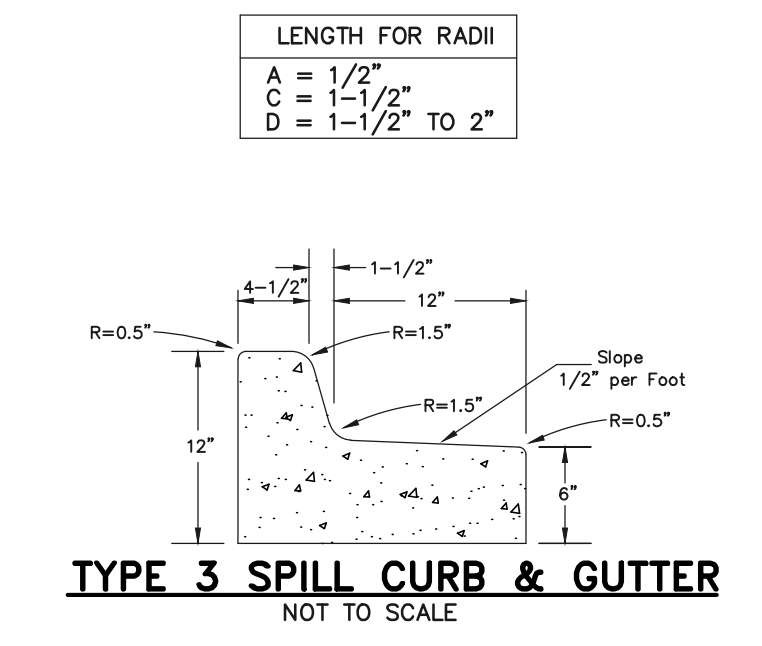
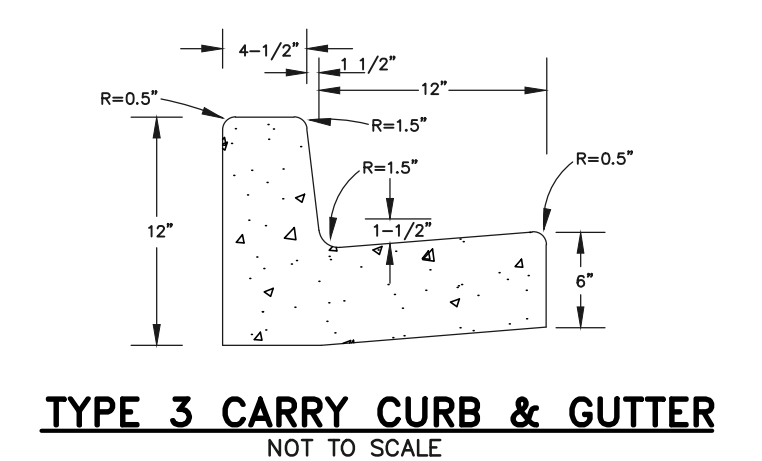
Zone: PIP1
Use: Offices

Zone: PIP1
Use: Offices

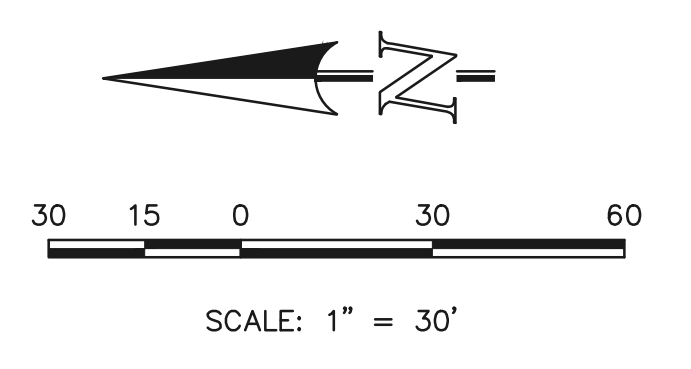




DESCRIPTION	LEGEND:	SYMBOL
EXISTING GROUND CONTOUR		(6600)
PROPOSED FINISHED GRADE CONTOUR		6600
PROPOSED STORM SEWER PIPE		—
PROPOSED STORM INLET		□
EXISTING STORM SEWER PIPE		—
EXISTING STORM INLET		□
BOUNDARY LINE		—
PROPOSED HIGH POINT		H.P.
PROPOSED LOW POINT		L.P.
PROPOSED FLOW DIRECTION & GRADE		→ 2.0%
EXISTING FLOW DIRECTION & GRADE		→ (2.0%)



MATCHLINE SHEET 4



REVISION 1: AMENDED BUILDING FOOTPRINT
9279 HIGHLAND RIDGE HEIGHTS.

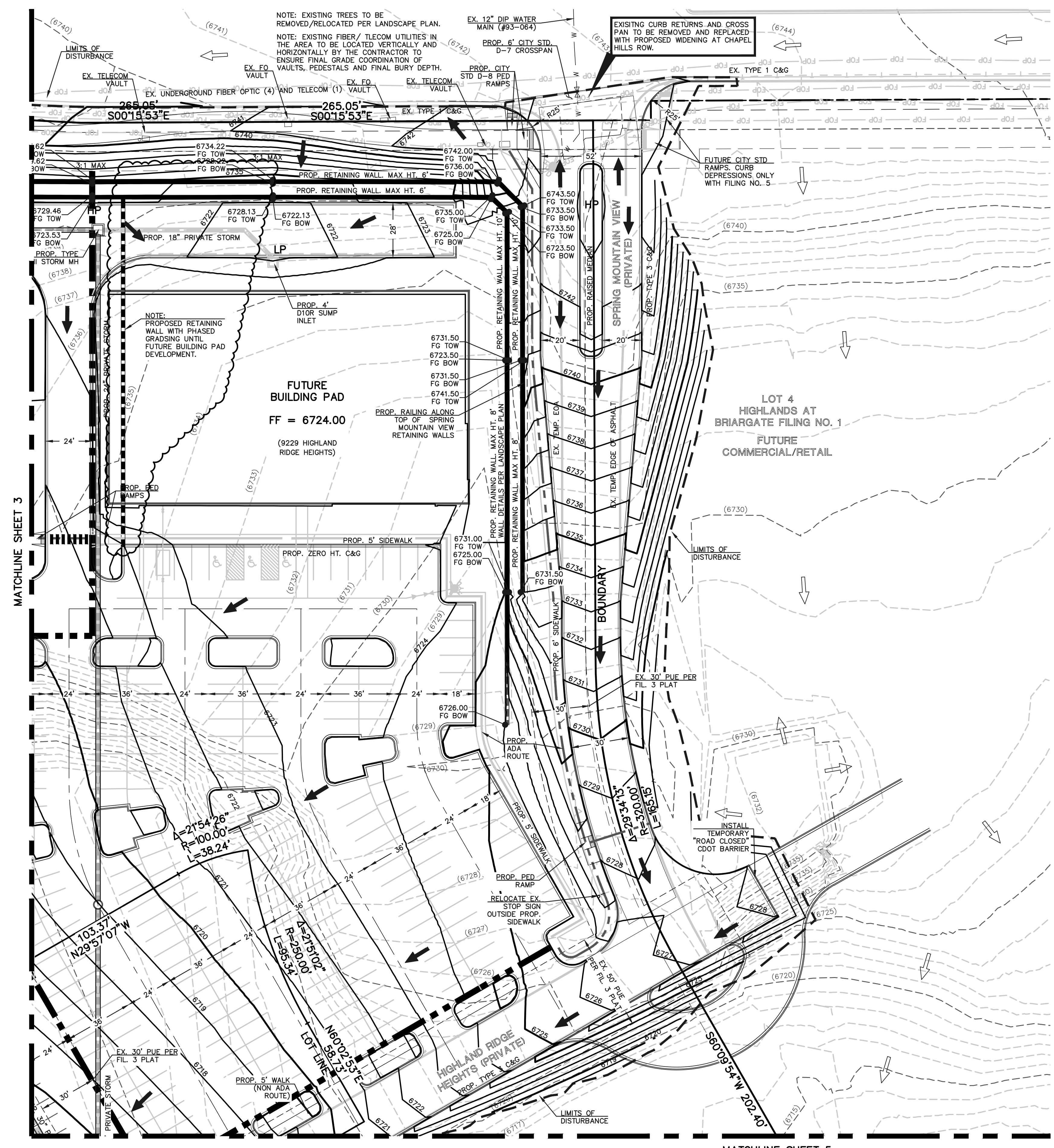
AR DP MJ22-XXXX
AR DP 20-0000576

	HIGHLANDS AT BRIARGATE FILING NO. 5	
	DEVELOPMENT PLAN PRELIMINARY GRADING PLAN	
DESIGNED BY	EAS	SCALE
DRAWN BY	EAS	(H) 1" = 30'
CHECKED BY	CMT	(V) 1" = N/A
DATE		07/07/22
SHEET		3 OF 14
JOB NO.		2440.60

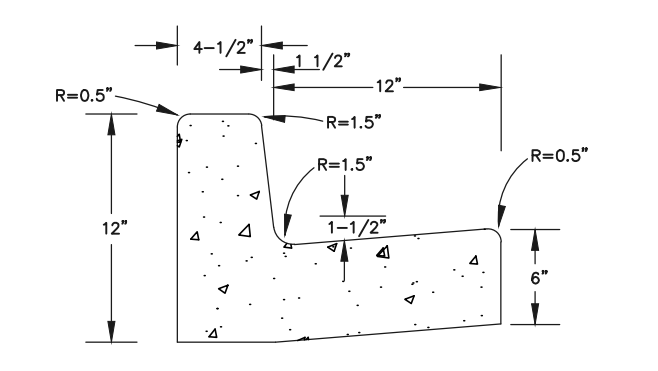
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

MATCHLINE SHEET 5

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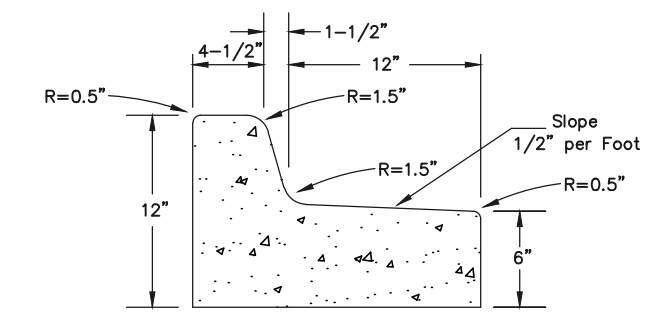


DESCRIPTION	LEGEND:	SYMBOL
EXISTING GROUND CONTOUR		(6600)
PROPOSED FINISHED GRADE CONTOUR		6600
PROPOSED STORM SEWER PIPE		▬▬▬▬▬▬
PROPOSED STORM INLET		□
EXISTING STORM SEWER PIPE		▬▬▬▬▬▬
EXISTING STORM INLET		□
BOUNDARY LINE		▬▬▬▬▬▬
PROPOSED HIGH POINT		H.P.
PROPOSED LOW POINT		L.P.
PROPOSED FLOW DIRECTION & GRADE		→ 2.0%
EXISTING FLOW DIRECTION & GRADE		→ (2.0%)

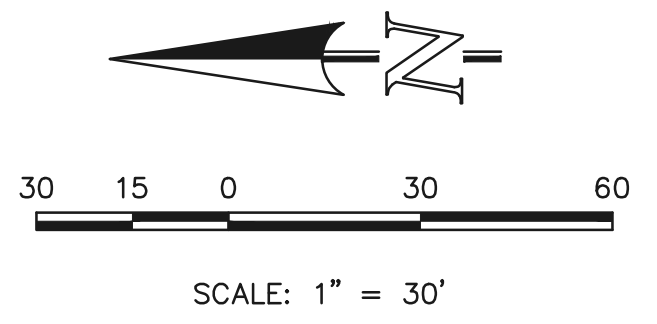


TYPE 3 CARRY CURB & GUTTER
NOT TO SCALE

LENGTH FOR RADII
A = 1/2"
C = 1-1/2"
D = 1-1/2" TO 2"



TYPE 3 SPILL CURB & GUTTER
NOT TO SCALE



REVISION 1: AMENDED BUILDING FOOTPRINT
9279 HIGHLAND RIDGE HEIGHTS.

AR DP 20-00576



HIGHLANDS AT BRIARGATE FILING NO. 5

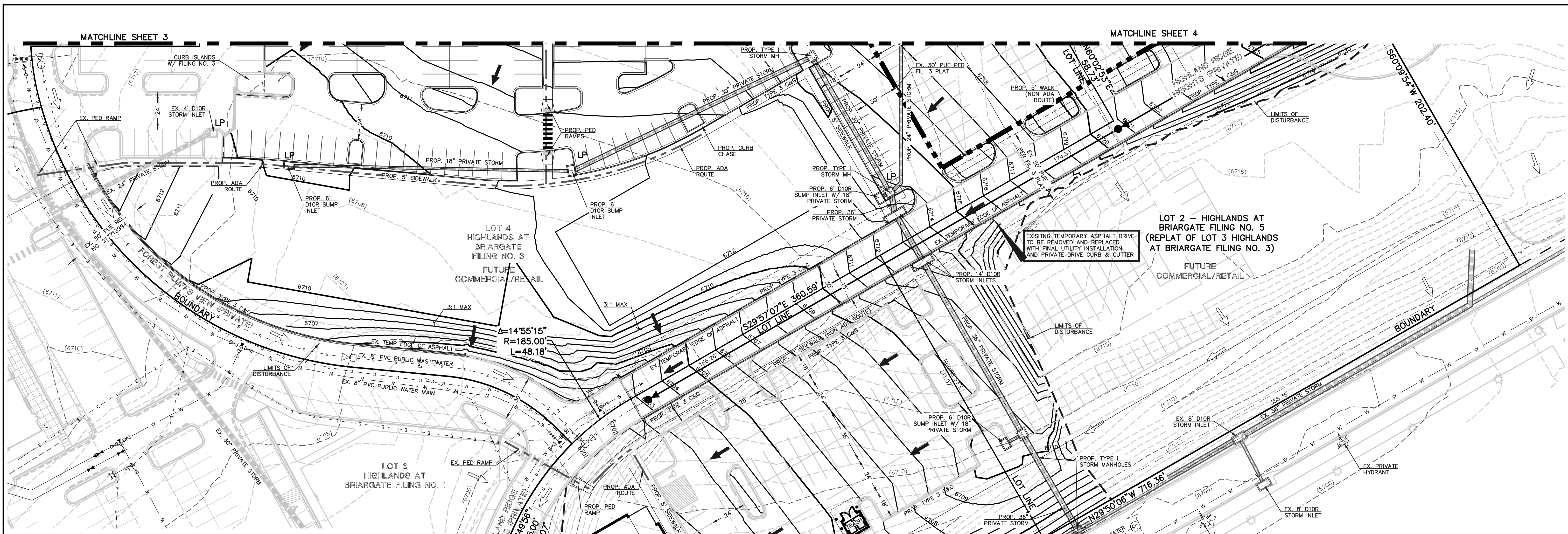
DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN

DESIGNED BY	EAS	SCALE	DATE	07/07/22
DRAWN BY	EAS	(H) 1" = 30'	SHEET	4 OF 14
CHECKED BY	CMT	(V) 1" = N/A	JOB NO.	2440.80

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)





STANDARD GRADING AND EROSION CONTROL PLANS

NOTES:
 ANY LAND DISTURBANCE BY ANY OWNER, DEVELOPER, BUILDER, CONTRACTOR, OR OTHER PERSON SHALL COMPLY WITH THE BASIC GRADING, EROSION AND STORMWATER QUALITY CONTROL REQUIREMENTS AND GENERAL PROHIBITIONS NOTED IN THE DRAINAGE CRITERIA MANUAL VOLUME 2 AND THE OWNER INSPECTION REQUIREMENTS (D.C.M.VOL. 2, SEC. 3.2)

NO CLEARING, GRADING, EXCAVATING, FILLING OR OTHER LAND DISTURBING ACTIVITIES SHALL BE PERMITTED UNTIL SIGNOFF AND ACCEPTANCE OF THE GRADING PLAN AND EROSION AND STORMWATER QUALITY CONTROL PLAN IS RECEIVED FROM CITY ENGINEERING.

THE INSTALLATION OF THE FIRST LEVEL OF TEMPORARY EROSION CONTROL FACILITIES AND BMP'S SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY EARTH DISTURBANCE OPERATIONS TAKING PLACE. CALL CITY STORMWATER INSPECTIONS, 385-5980, 48 HOURS PRIOR TO CONSTRUCTION.

SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PRIVATE ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AT THE END OF EACH DAY.

CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.

SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

THE GRADING AND EROSION CONTROL PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF COLORADO SPRINGS ENGINEERING SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN 12 MONTHS OF THE CITY ENGINEER'S ACCEPTANCE OF THE PLAN, A CHANGE IN PROPERTY OWNERSHIP, PROPOSED DEVELOPMENT CHANGES, OR PROPOSED GRADING REVISIONS.

THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

NOTE:
 STORMWATER QUALITY AND DETENTION TO BE PROVIDED IN EXISTING HIGHLANDS AT BRIARGATE DETENTION FACILITY NO. 1 POND 2A PER THE PREVIOUSLY APPROVED FINAL DRAINAGE REPORT FOR HIGHLANDS AT BRIARGATE FILING NO. 3.

EROSION CONTROL CRITERIA:
 EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IN A MANNER THAT WILL PROTECT PROPERTIES AND PRIVATE FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.

UPON COMPLETION OF GRADING OPERATIONS, LOCATE AND SET THE SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN. AT THIS TIME, RESEED ALL DISTURBED AREAS WITH AN ACCEPTABLE SEED MIX.

THE SILT FENCES SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT COLLECTED BY THE SILT FENCES IS REQUIRED ONCE IT REACHES HALF THE HEIGHT OF THE SILT FENCES.

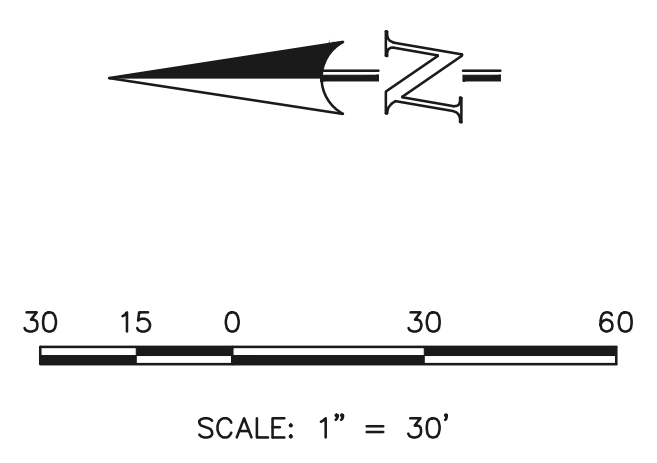
EROSION CONTROL DEVICES SHOULD BE CHECKED AFTER EVERY STORM. REPAIRS OR REPLACEMENT SHOULD BE MADE AS NECESSARY TO MAINTAIN PROPER PROTECTION.

- NOTES:**
1. ALL SIDEWALKS TO BE CONCRETE UNLESS OTHERWISE NOTED.
 2. ALL PEDESTRIAN RAMPS TO BE PER CITY STANDARD D-8 DETAILS.
 3. ALL CURB AND GUTTER TO BE CITY STANDARD TYPE 3 UNLESS OTHERWISE NOTED.
 4. ALL STORM SEWER TO BE PRIVATE UNLESS OTHERWISE NOTED.
 5. ALL TRAFFIC CONTROL MEASURES SHALL MEET MUTCD STANDARDS.
 6. ALL CROSSPANS TO BE CITY STANDARD D-7 UNLESS OTHERWISE NOTED.

ADA STATEMENT:
 THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS.

NOTE:
 ALL CURB, GUTTER, DRIVEWAY APRONS, PEDESTRIAN RAMPS AND SIDEWALKS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG CHAPEL HILLS DRIVE ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (C.O.). AN ONSITE MEETING CAN BE SET UP WITH CITY ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.

DESCRIPTION	SYMBOL
EXISTING GROUND CONTOUR	(6600)
PROPOSED FINISHED GRADE CONTOUR	6600
PROPOSED STORM SEWER PIPE	---
PROPOSED STORM INLET	□
EXISTING STORM SEWER PIPE	---
EXISTING STORM INLET	□
BOUNDARY LINE	---
PROPOSED HIGH POINT	H.P.
PROPOSED LOW POINT	L.P.
PROPOSED FLOW DIRECTION & GRADE	2.0%
EXISTING FLOW DIRECTION & GRADE	(2.0%)



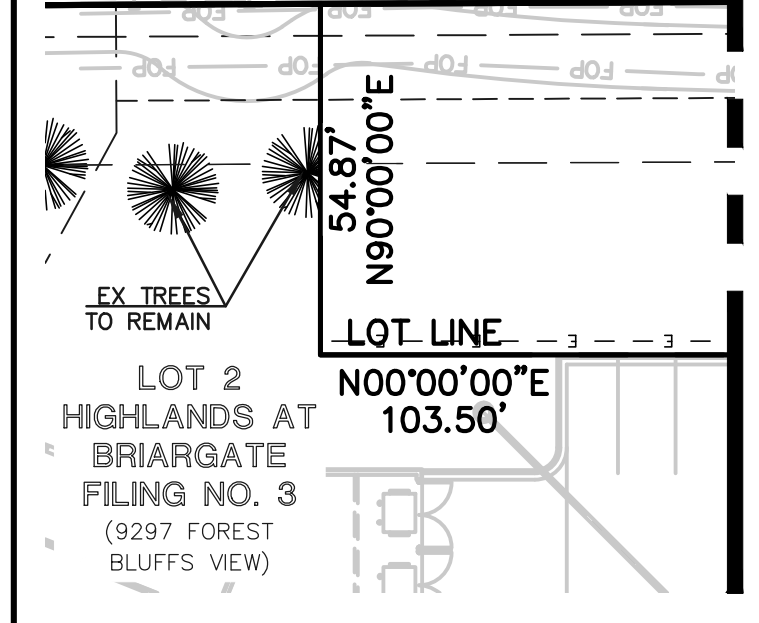
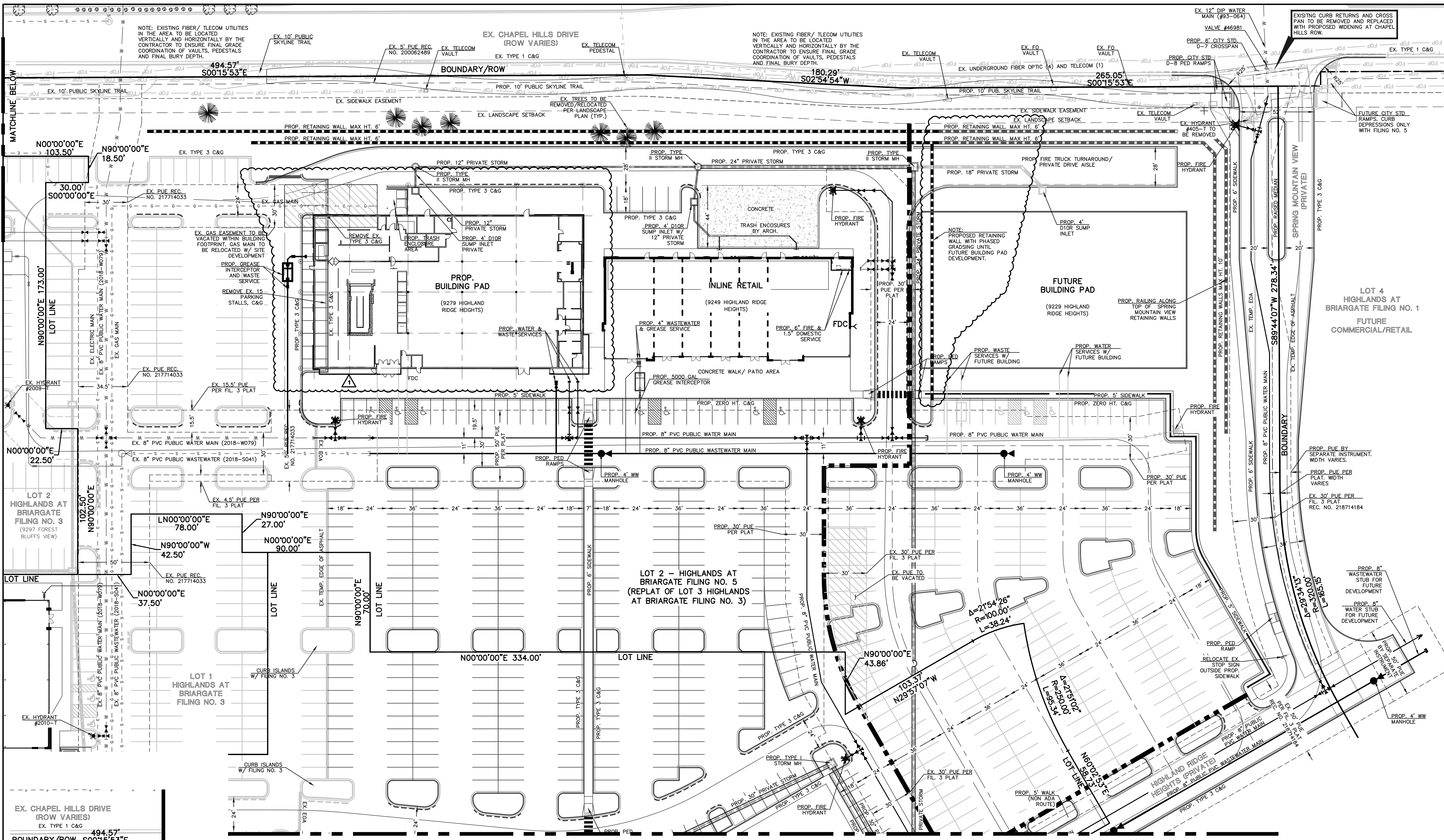
REVISION 1: AMENDED BUILDING FOOTPRINT
 9279 HIGHLAND RIDGE HEIGHTS.

AR DP 20-00576

CLASSIC CONSULTING		HIGHLANDS AT BRIARGATE FILING NO. 5	
DESIGNED BY		EAS	
DRAWN BY		EAS	
CHECKED BY		CMT	
SCALE	(H) 1" = 30'	DATE	07/07/22
SCALE	(V) 1" = N/A	SHEET	5 OF 14
JOB NO.		2440.80	

619 N. Cascade Avenue, Suite 200 (719) 785-0790
 Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

N:\244080\DRAWINGS\DEVELOPMENT\244080_PG-05.dwg, 7/15/2022, 9:00:33 AM, 1:1

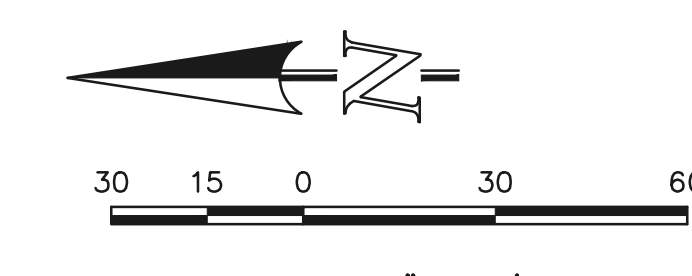


LEGEND:

DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED SANITARY SEWER MAIN	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
BOUNDARY LINE	
FIRE LANE - CURB STRIPING	

LEGEND:

DESCRIPTION	SYMBOL
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
BOUNDARY LINE	
FIRE LANE - CURB STRIPING	



REVISION 1: AMENDED BUILDING FOOTPRINT
9279 HIGHLAND RIDGE HEIGHTS.

AR DP 20-00576

HIGHLANDS AT BRIARGATE FILING NO. 5

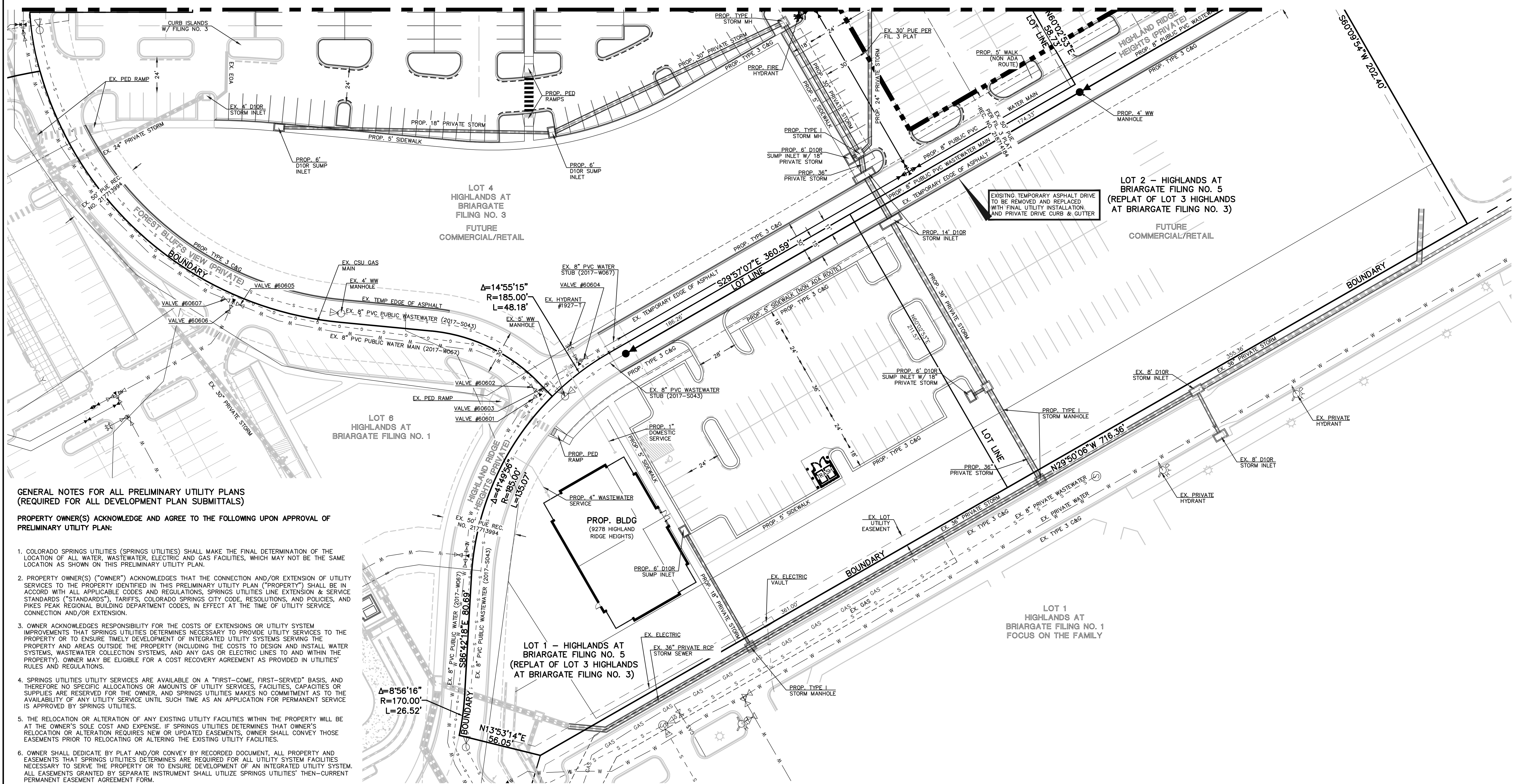
DEVELOPMENT PLAN
PRELIMINARY UTILITIES & PUBLIC FACILITIES PLAN

CLASSIC CONSULTING

DESIGNED BY	EAS	SCALE	DATE	07/07/22
DRAWN BY	EAS	(H) 1" = 30'	SHEET	6 OF 14
CHECKED BY	CMT	(V) 1" = N/A	JOB NO.	2440.80

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)



**GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS
(REQUIRED FOR ALL DEVELOPMENT PLAN SUBMITTALS)**

**PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF
PRELIMINARY UTILITY PLAN:**

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKE'S PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

NOTE:
NO TREES ALLOWED WITHIN 15 L.F. OF A WATER AND WASTEWATER MAIN.

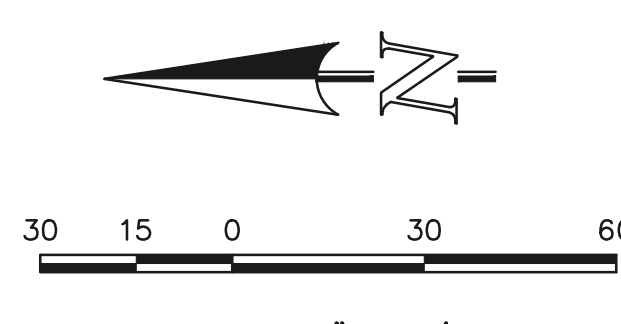
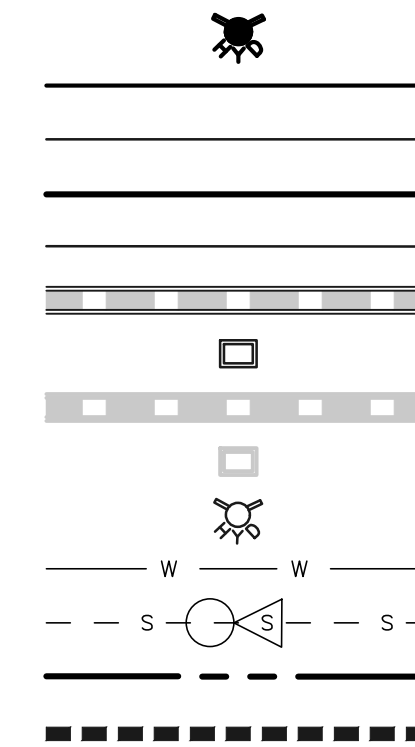
NOTE:
FIRE SERVICE LINE CANNOT EXTEND MORE THAN 3' UNDER THE BUILDING SLAB.

DESCRIPTION

- PROPOSED FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICES
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER MAIN W/ MANHOLE
- BOUNDARY LINE
- FIRE LANE - CURB STRIPING

LEGEND:

SYMBOL



SCALE: 1" = 30'

LOT 2 - HIGHLANDS AT BRIARGATE FILING NO. 5
(REPLAT OF LOT 3 HIGHLANDS AT BRIARGATE FILING NO. 3)
FUTURE COMMERCIAL/RETAIL

LOT 6 HIGHLANDS AT BRIARGATE FILING NO. 1

LOT 4 HIGHLANDS AT BRIARGATE FILING NO. 3
FUTURE COMMERCIAL/RETAIL

LOT 1 - HIGHLANDS AT BRIARGATE FILING NO. 5
(REPLAT OF LOT 3 HIGHLANDS AT BRIARGATE FILING NO. 3)

LOT 1 HIGHLANDS AT BRIARGATE FILING NO. 1
FOCUS ON THE FAMILY

REVISION 1: AMENDED BUILDING FOOTPRINT
9279 HIGHLAND RIDGE HEIGHTS.

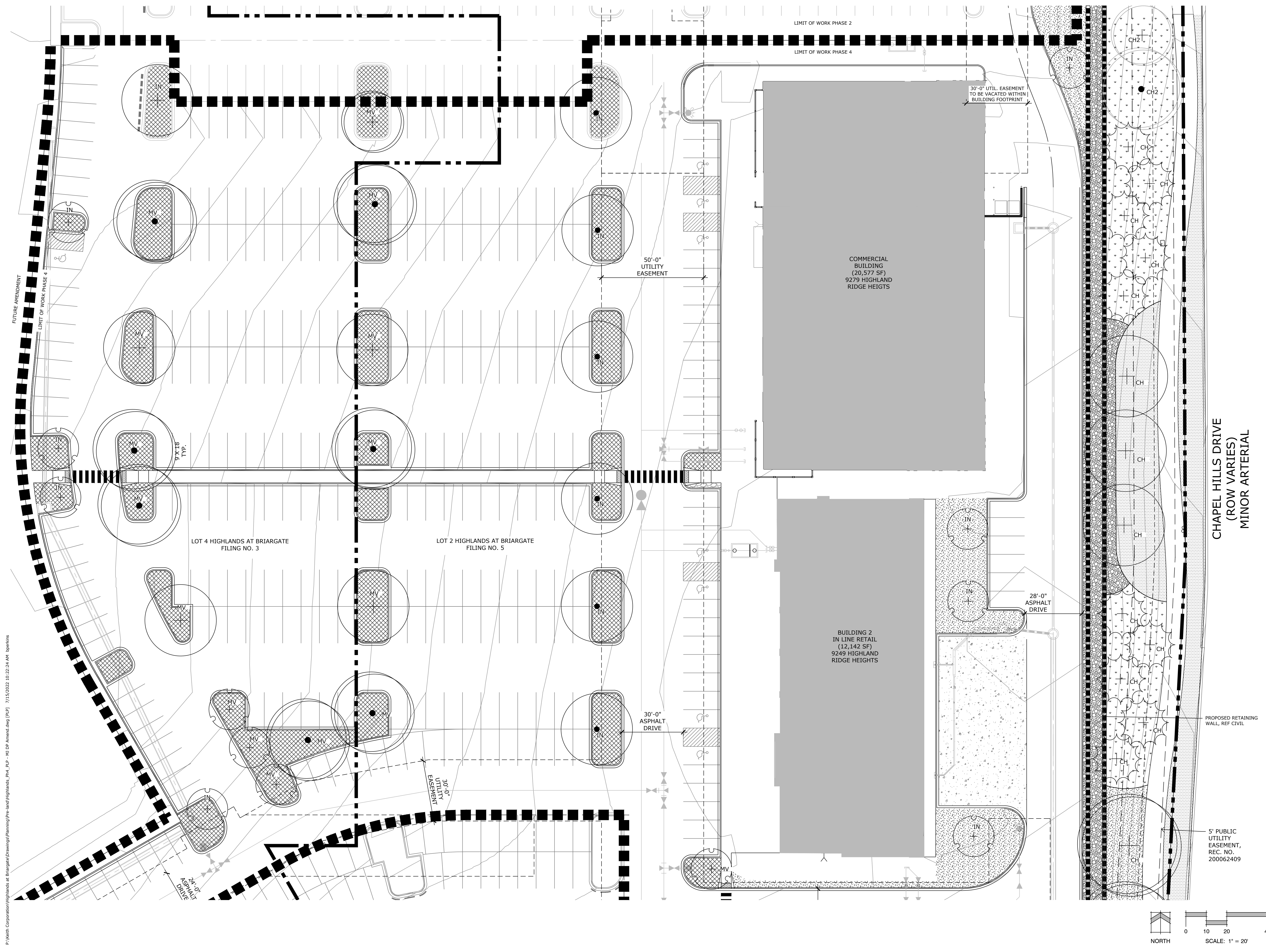
AR DP 20-00576



HIGHLANDS AT BRIARGATE FILING NO. 5			
DEVELOPMENT PLAN PRELIMINARY UTILITIES & PUBLIC FACILITIES PLAN			
DESIGNED BY	EAS	SCALE	DATE 07/07/22
DRAWN BY	EAS	(H) 1" = 30'	SHEET 7 OF 14
CHECKED BY	CMT	(V) 1" = N/A	JOB NO. 2440.80

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)





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Land Planning
Landscape Architecture
Urban Design

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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Highlands at Briargate Phase 4
Major Development Plan Amendment
8605 Explorer Dr
Colorado Springs, CO 80920

DATE: 7/19/2022
PROJECT MGR: B. PERKINS
PREPARED BY: J. SHAGIN

ENTITLEMENT

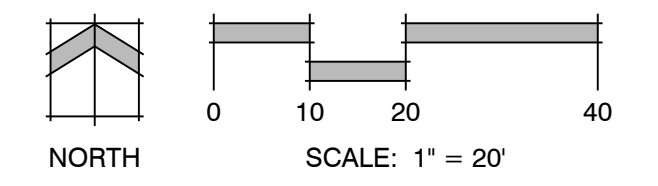
DATE	BY	DESCRIPTION

PRELIMINARY LANDSCAPE PLAN

8

8 OF 14

AR DP 20-00576-A1M22



Highlands at Briargate Phase 4

Major Development Plan Amendment
8605 Explorer Dr
Colorado Springs, CO 80920

DATE: 7/19/2022
PROJECT MGR: B. PERKINS
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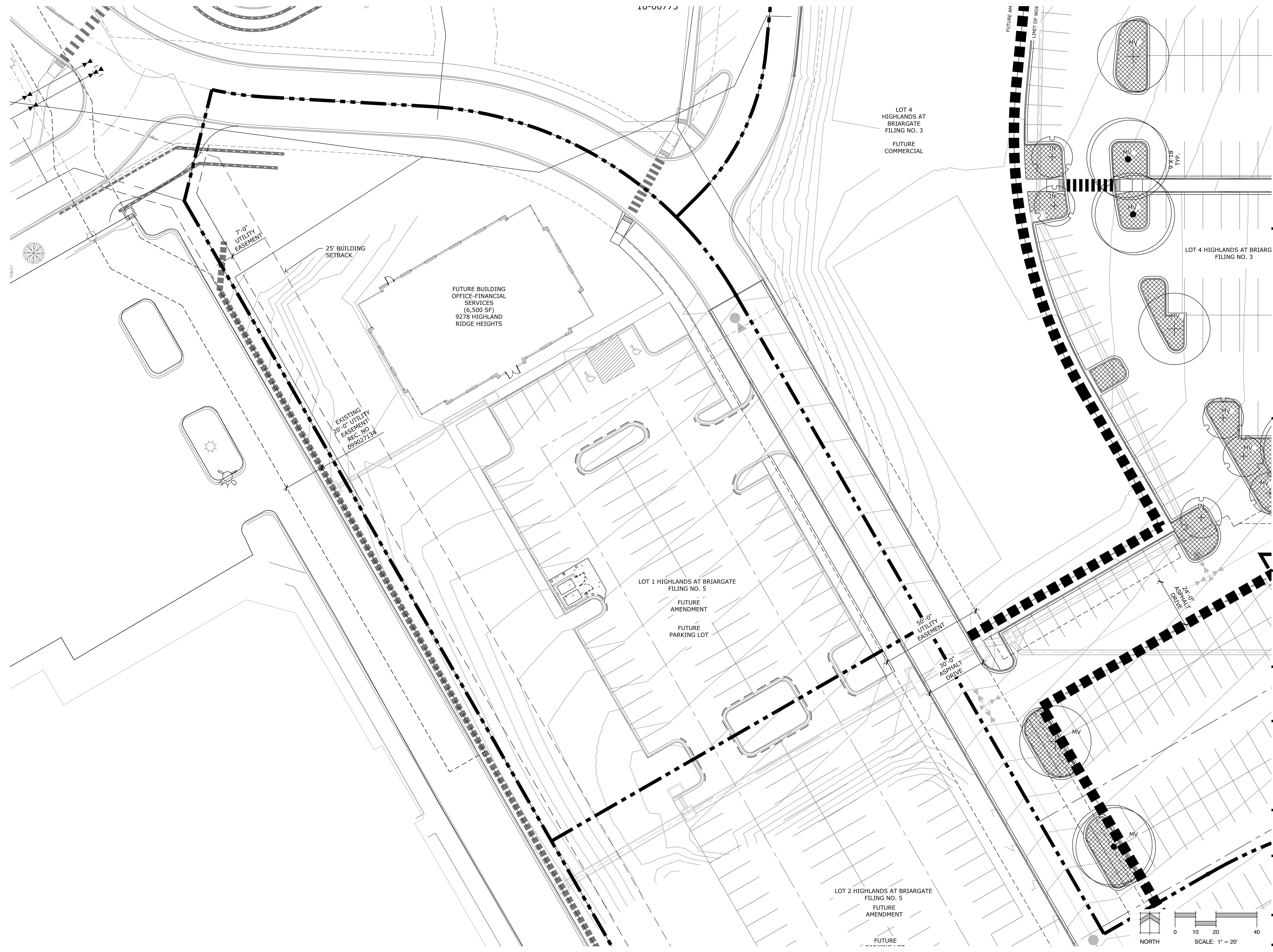
ENTITLEMENT

DATE:	BY:	DESCRIPTION:

PRELIMINARY LANDSCAPE PLAN

10
10 OF 14

AR DP 20-00576-A1MJ22



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PHASE 4 AREA ONLY
(LOTS 3 of Highlands at Briargate Filing No. 3)

Landscape Setbacks

See Code Section/Policy 320 & 317

Street Name or Zone Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./ Prov.
Chapel Hills Drive	Minor Arterial	20' / 20'	670'	1 / 25'	27 / 24

Shrub Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
30 / PER FLP	CH	75% / 75%

Internal Landscaping

See Code Section/Policy 322 & 317

Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided
169,013 S.F.	5%	8,451 / 8,451	17 / 15

Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
20 / PER FLP	(N)	75% / 75%

Motor Vehicle Lots

See Code Section/Policy 321 & 317

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Percent Ground Plane Veg. Req. / Prov.	Motor Vehicle Plant Abbr. Denoted on Plan
311	21 / 21	75% / 75%	MV

LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 4 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
- RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

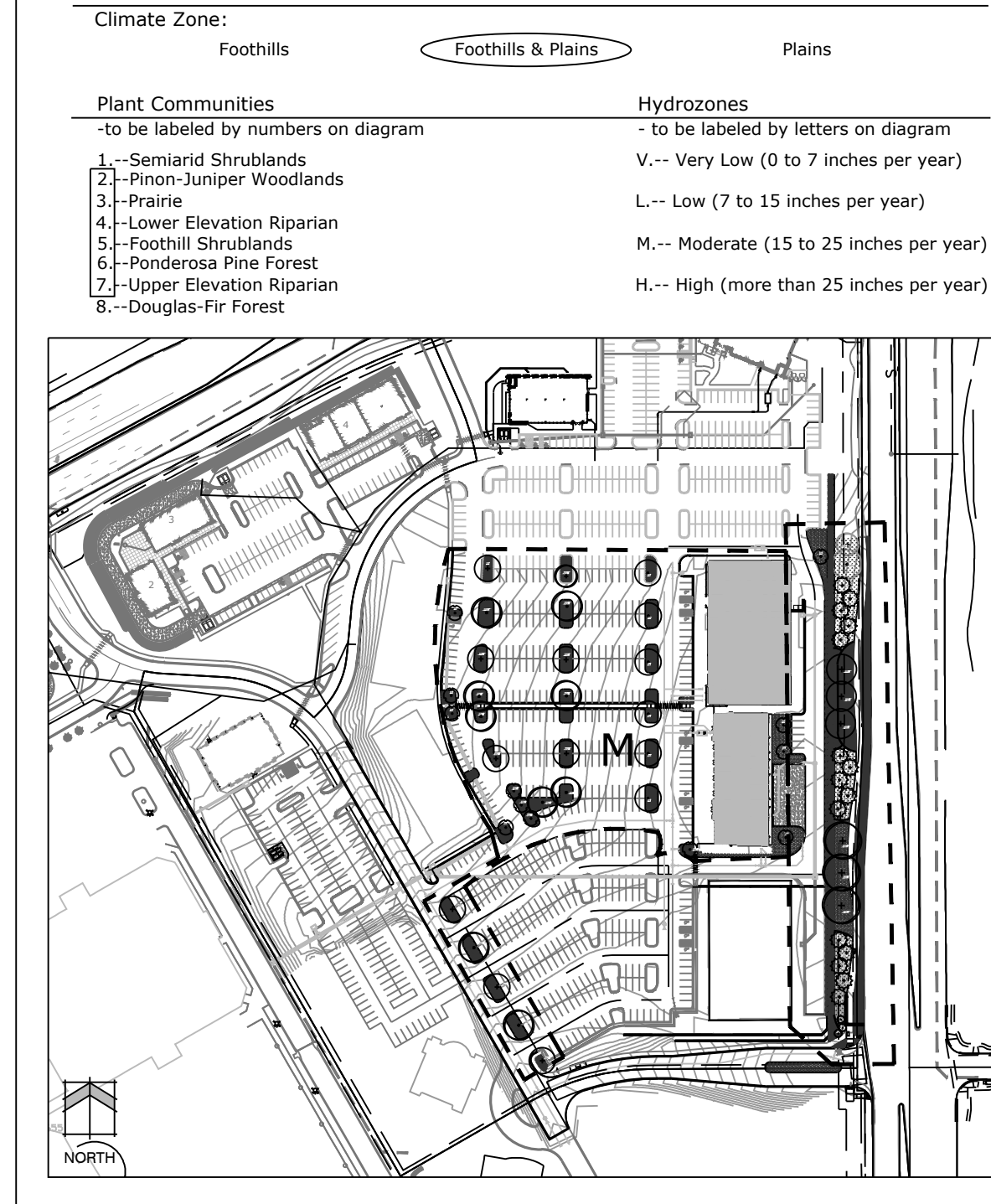
	SOD	SEED	SHRUB
NITROGEN	100 LBS/1 AC	10 LBS/1 AC	0.8 LBS/1000SF
PHOSPHORUS (P205)	75 LBS/1 AC	45 LBS/1 AC	1.0 LBS/1000SF
POTASSIUM (K20)	0 LBS/1 AC	0 LBS/1 AC	0 LBS/1000SF
SULFUR (S04-5)	20 LBS/1 AC	5 LBS/1 AC	0.1 LBS/1000SF

*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
- A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTO METRIC PLAN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE A 1 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SE: SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK X 4" WIDE) STEEL LANDSCAPE EDGING, GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- ROCK MULCH: 1 1/2" CIMARRON GRANITE. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
- A FINAL LANDSCAPE PLAN AND AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

BBCOA NOTES

- THE MISSING 17 INTERNAL TREES WILL BE SUBSTITUTED FOR SHRUBS. 1 TREE EQUALS 10 SHRUBS AND 1 SHRUB EQUALS 2 GRASSES/PERENNIALS.

SCHEMATIC LANDSCAPE DIAGRAM



PLANT SCHEDULE

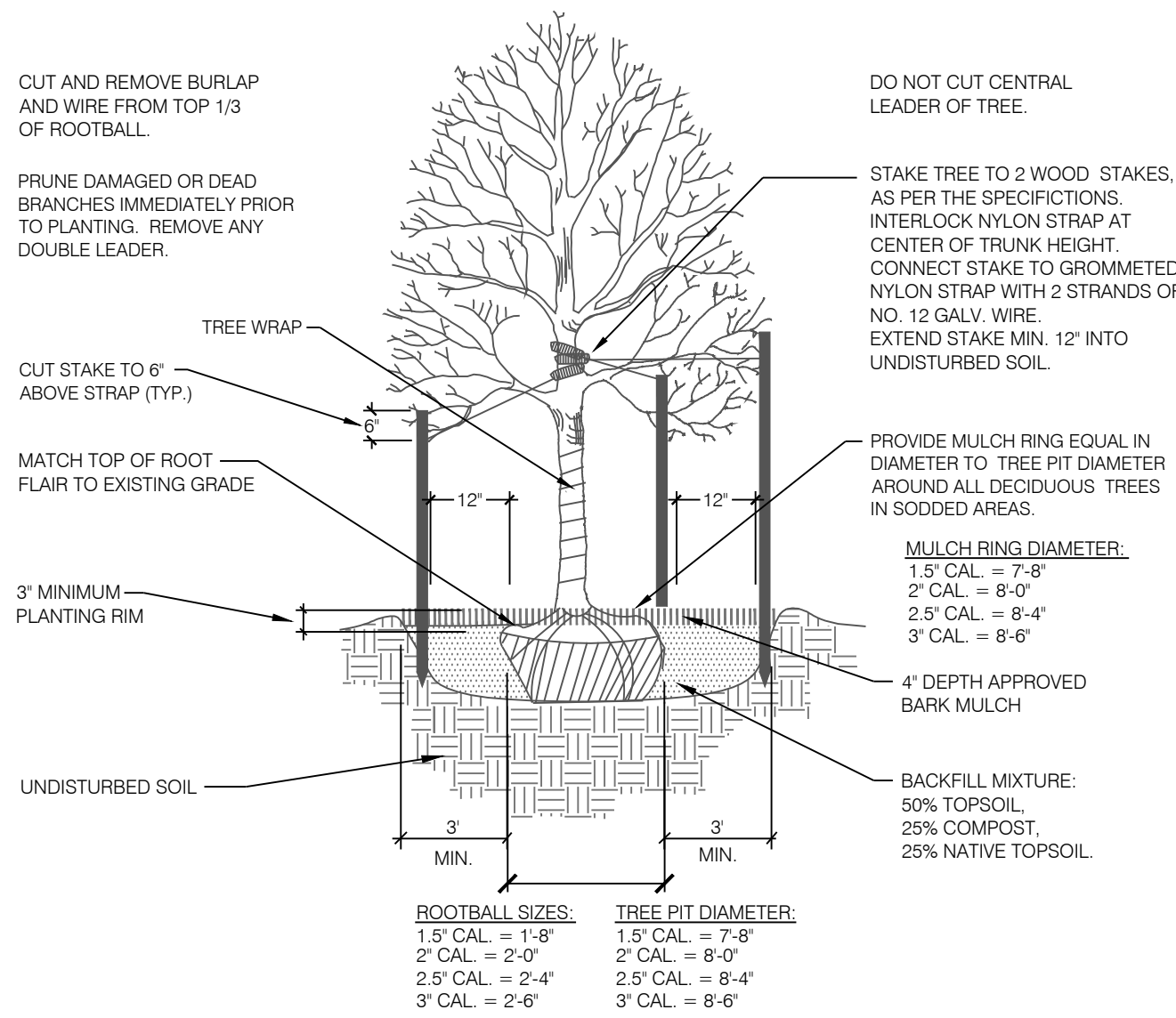
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Axf	6	Acer x freemanii / Autumn Blaze Maple	50'	35'	2.5" Cal.	B&B	S
	Coc	3	Celtis occidentalis / Common Hackberry	60'	40'	2.5" Cal.	B&B	3457DA
	Pxa	2	Populus x acuminata / Lanceleaf Poplar	50'	30'	2.5" Cal.	B&B	478A
	Qal	3	Quercus alba / White Oak	60'	50'	3" Cal.	B&B	S
	Qru	10	Quercus rubra / Red Oak	60'	40'	2.5" Cal.	B&B	4S
	Tto	8	Tilia tomentosa / Silver Linden	50'	35'	2.5" Cal.	B&B	4S

EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pgd	3	Picea glauca 'Densata' / Black Hills Spruce	30'	12'	8' HT	B&B	W
	Ppg	15	Picea pungens 'Glauca' / Colorado Blue Spruce	60'	25'	8' HT	B&B	678S

FLOWERING TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Cph	12	Crataegus phaenopyrum var inermis / Washington Hawthorn (multi-trunk)	25'	20'	2" Cal.	B&B	45AS

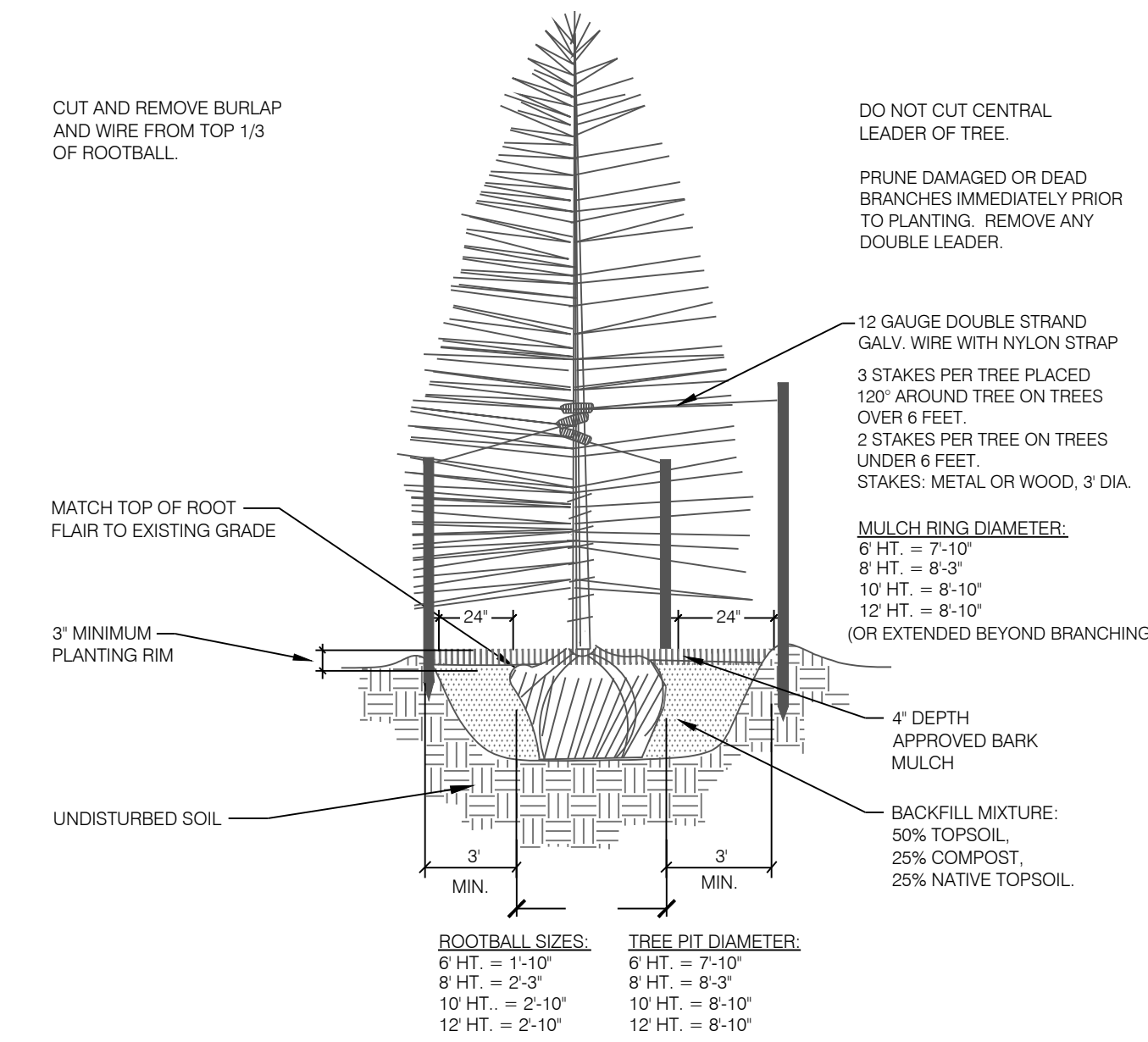
GROUND COVER LEGEND

	ROCK MULCH 1 1/2" Cimarron Granite	9,052 sf
	BLUEGRASS SOD	8,751 sf
	NATIVE SEED El Paso County Low Grow Seed Mix Sidebets Grama - 29% Buffalograss - 25% Blue Grama - 20% Western Wheatgrass - 20% Green Needlegrass - 5% Sand Dropped - 1% Drill Seed @ 21 PLS/Acre Hydroseed on slopes 3:1 & greater @ 42 PLS/Acre	9,830 sf
	ROCK COBBLE 2 - 4" Speckled White River Rock	7,302 sf
	WOOD MULCH Gorilla Hair Cedar	12,663 sf



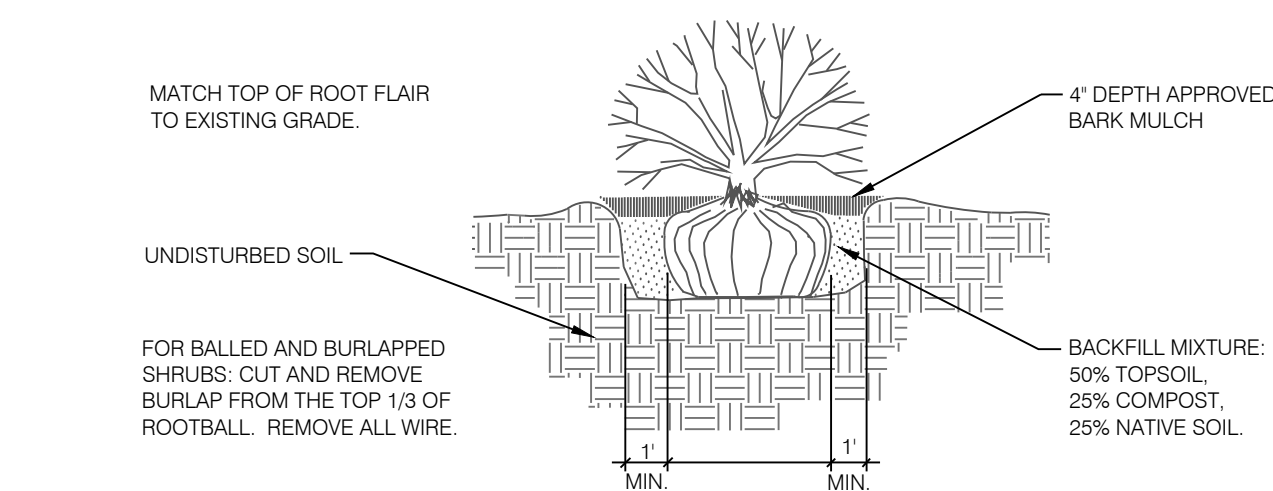
1 DECIDUOUS TREE PLANTING DETAIL

SCALE: NOT TO SCALE



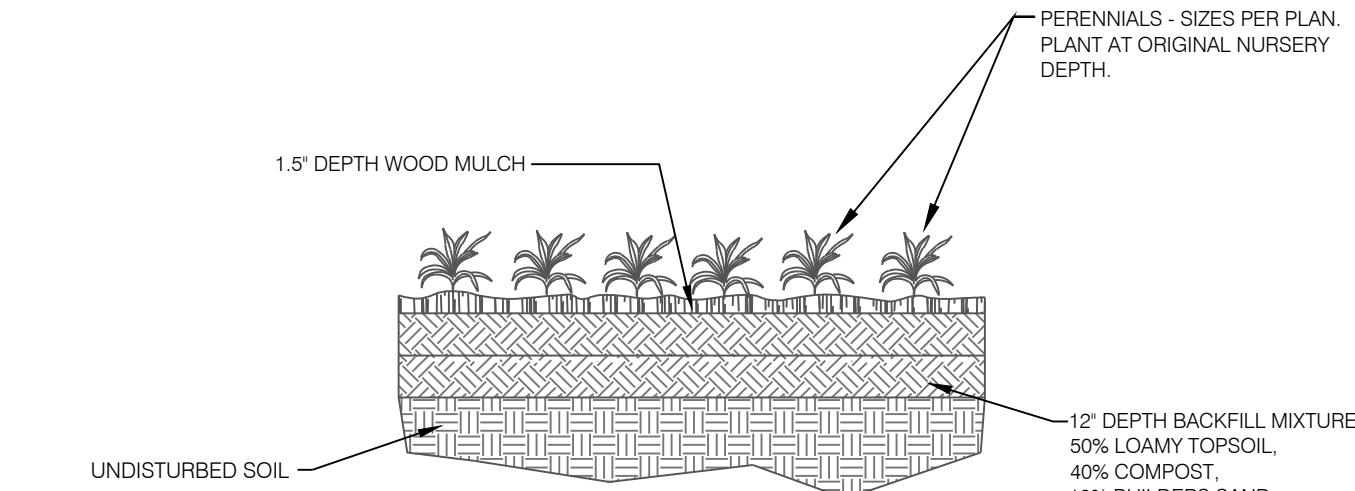
2 CONIFEROUS TREE PLANTING DETAIL

SCALE: NOT TO SCALE



3 SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE



4 PERENNIAL / GROUND COVER PLANTING

SCALE: NOT TO SCALE



PLANNER / LANDSCAPE ARCHITECT

PLANNING

**Highlands at
Briargate
Phase 4**
Major Development
Plan Amendment
8605 Explorer Dr
Colorado Springs, CO
80920

PROJECT INFO

DATE:	7/19/2022
PROJECT MGR:	B. PERKINS
PREPARED BY:	J. SHAGIN

SCALE

ENTITLEMENT

ISSUANCE

DATE:	BY:	DESCRIPTION:

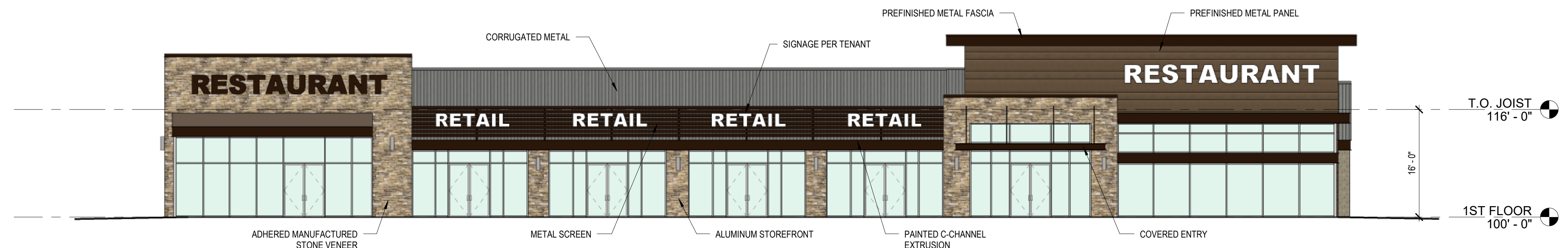
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**LANDSCAPE NOTES AND
DETAILS**

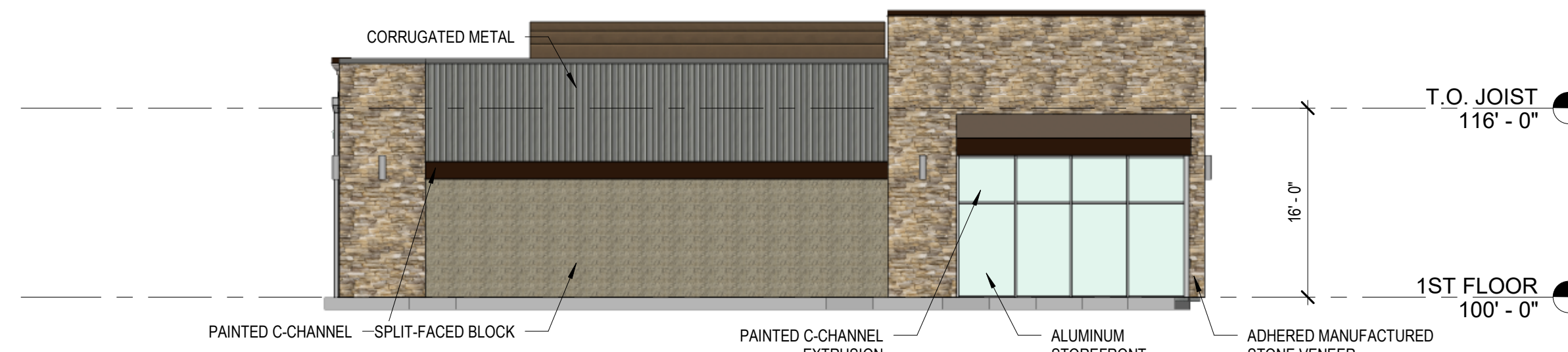
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SHEET NUMBER

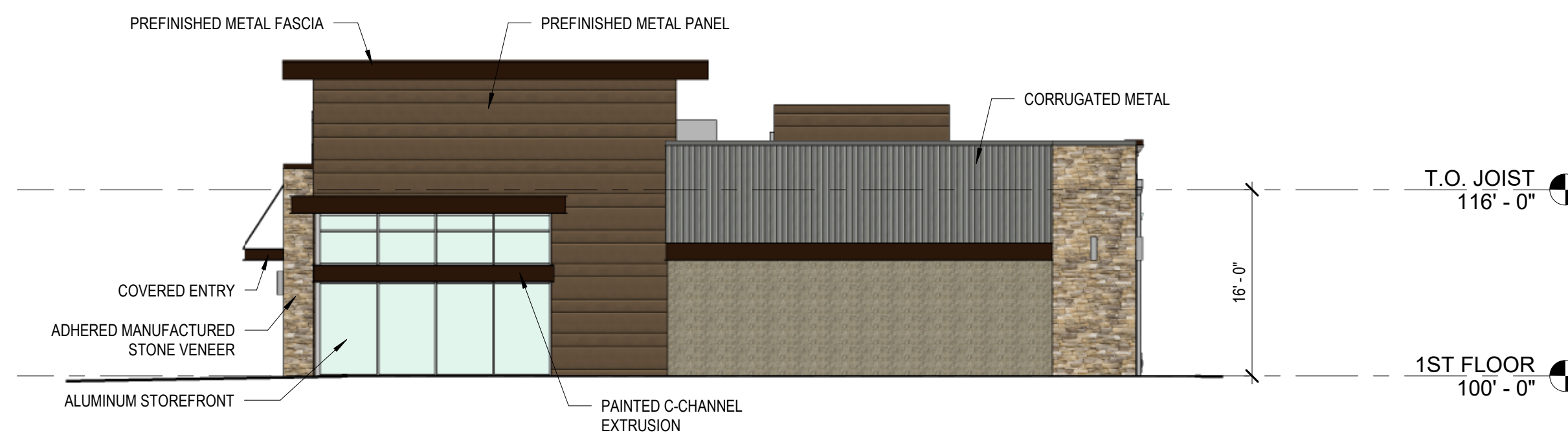
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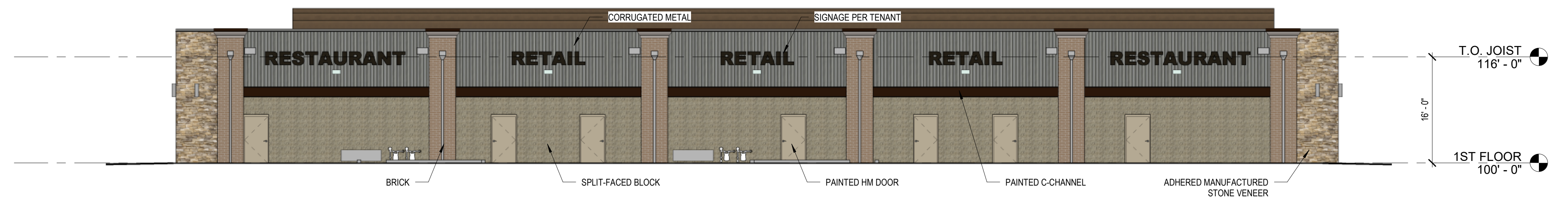
1 WEST ELEVATION - DP
3/32" = 1'-0"



2 NORTH ELEVATION - DP
3/32" = 1'-0"



3 SOUTH ELEVATION - DP
3/32" = 1'-0"



4 EAST ELEVATION - DP
3/32" = 1'-0"

company name: XXX
address: XXX
city/state: Colorado Springs, CO 80920
phone no: XXX

city file no: AR DP 20-00576-A1M122

YOW ARCHITECTS PC

ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

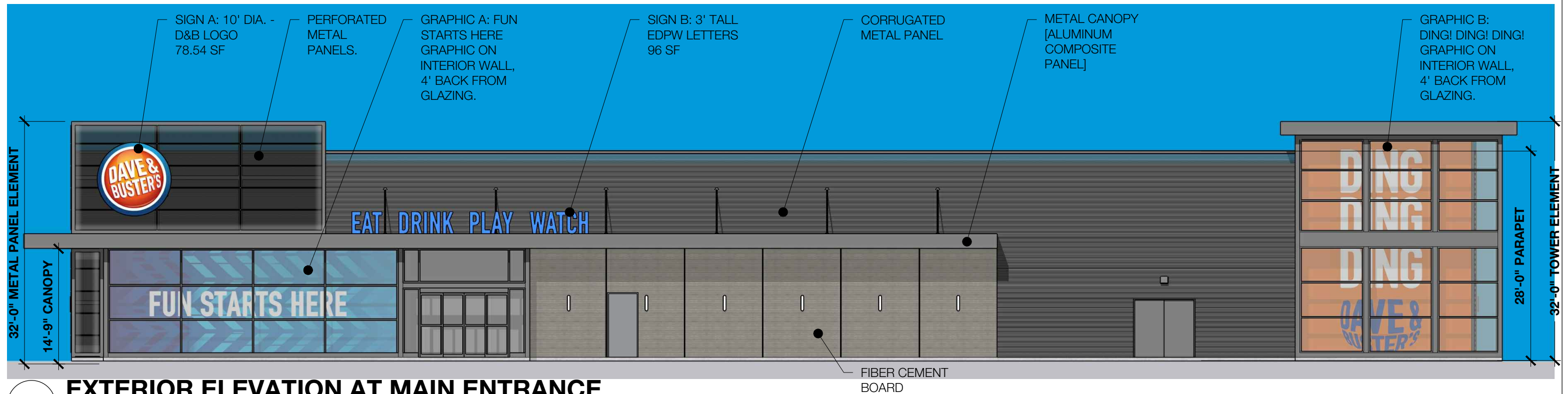
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Electrical: ...
Mechanical: ...
Plumbing: ...

IN-LINE BUILDING RETAIL
HIGHLANDS AT BRIARGATE
Colorado Springs, Colorado

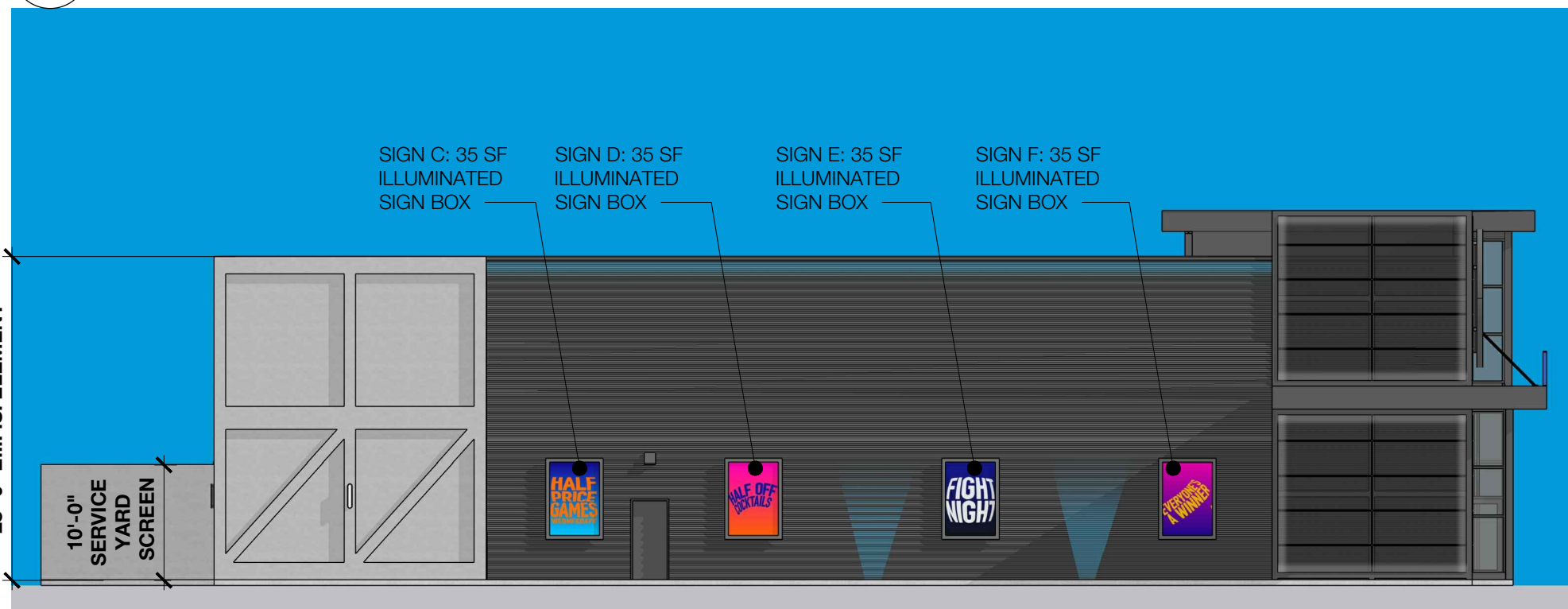
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Directory: Planning
File: development plan
Drawn By: KM
Date: XX.XX.2022
Revised:

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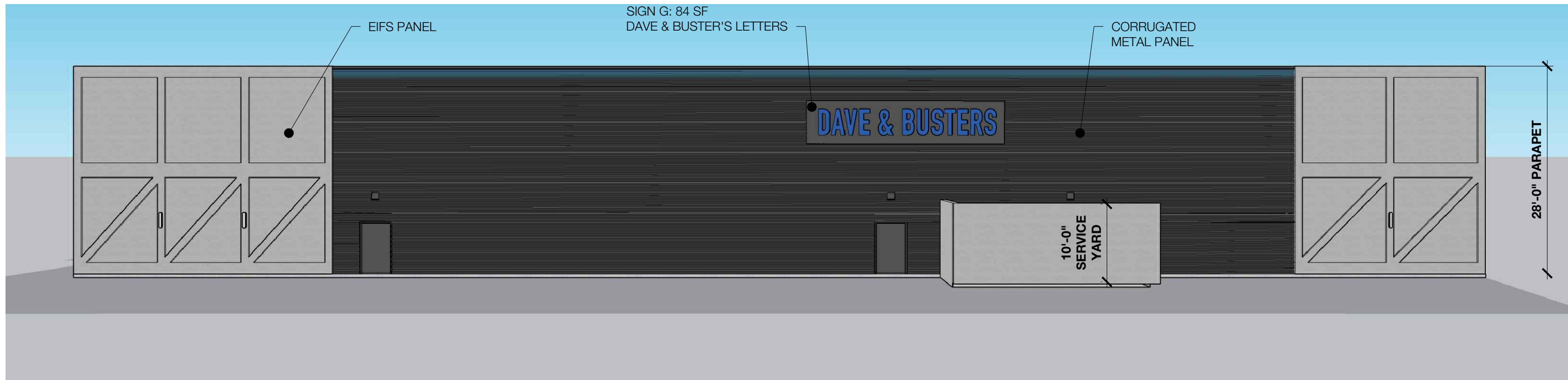
12 OF 14
Elevations



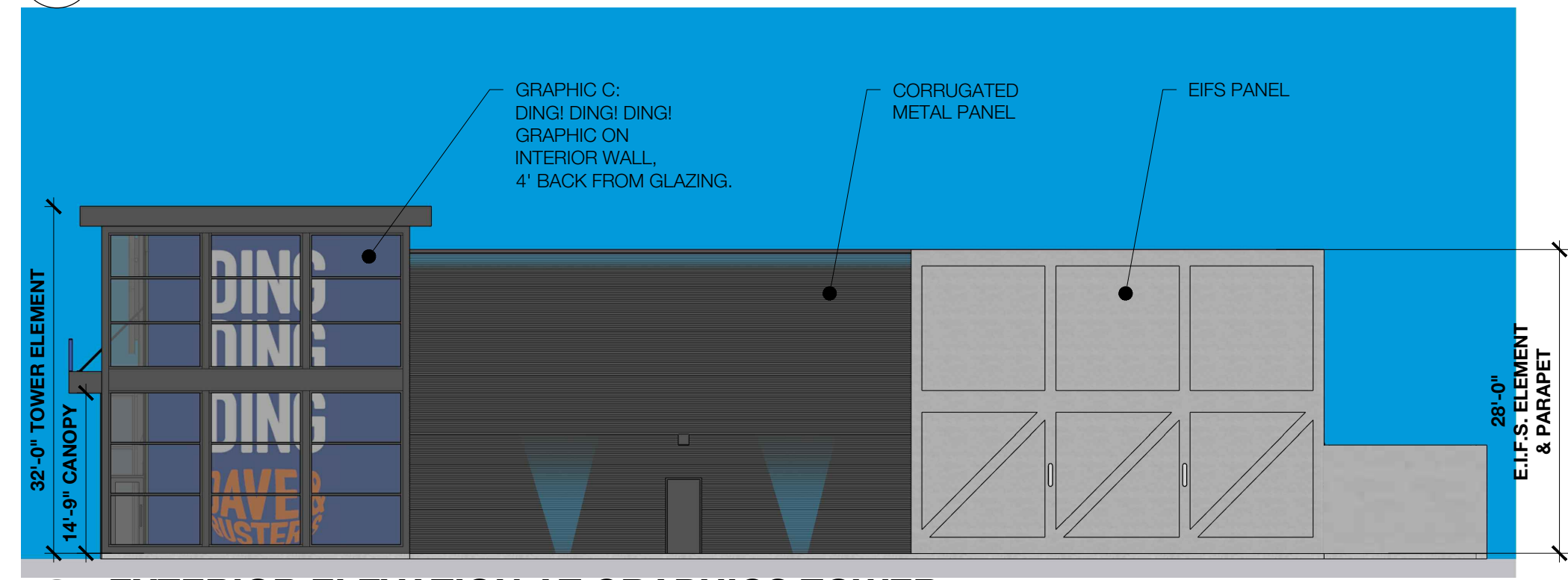
1 EXTERIOR ELEVATION AT MAIN ENTRANCE



2 EXTERIOR ELEVATION AT LIGHT BOX SIGNS



1 EXTERIOR ELEVATION AT BACK OF BUILDING



2 EXTERIOR ELEVATION AT GRAPHICS TOWER